

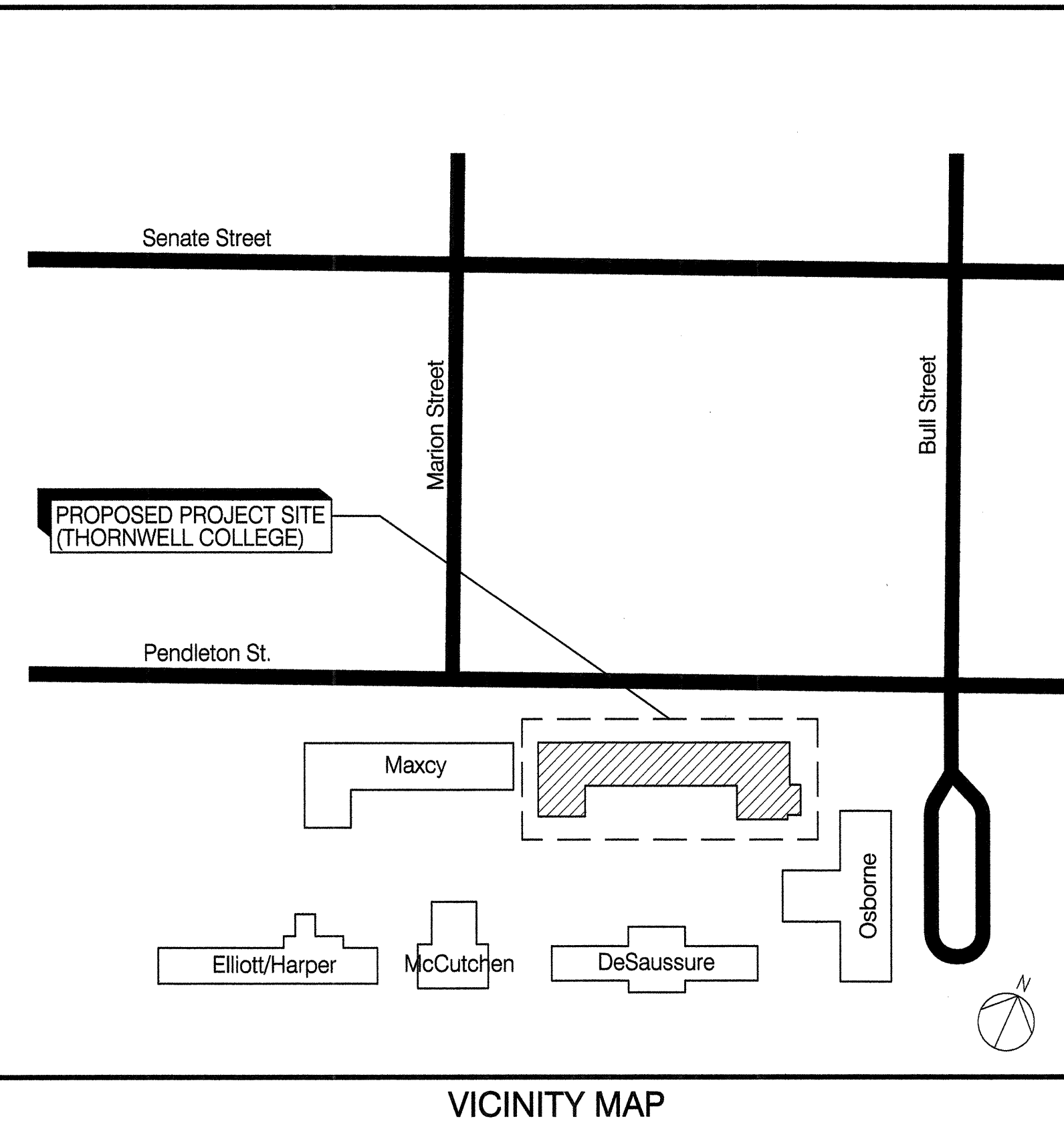
LOCATION MAP

THORNWELL 2ND FLOOR RENOVATIONS

PROJECT NUMBER: H27 - 2002

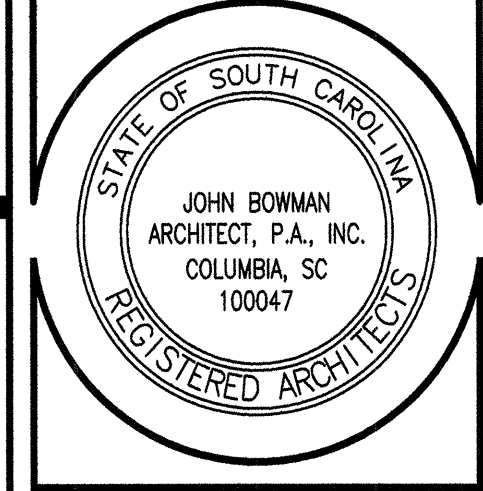
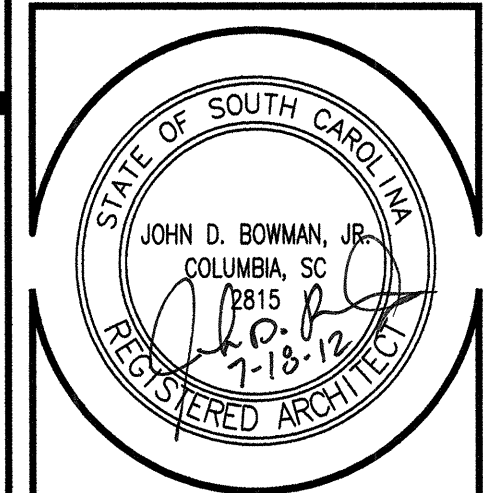
CONTRACT NO. CP00343152/FM00392260

UNIVERSITY OF SOUTH CAROLINA
COLUMBIA, SOUTH CAROLINA



VICINITY MAP

REVISIONS			
NO.	DATE	TYPE	BY



THORNWELL 2ND FLOOR RENOVATIONS
 PROJ NO.: CP00343152/FM00392260
 UNIVERSITY OF SOUTH CAROLINA
 COLUMBIA, SOUTH CAROLINA
 FINAL CONSTRUCTION DOCUMENTS

Architect

John Bowman Architect, P.A., Inc.
 2422 Devine Street - Suite C
 Columbia, SC 29205-2428
 p| 803.799.1084

Structural Engineering

Gene Structural Engineering
 301 Guild Hall Drive
 Columbia, SC 29212
 p| 803.719.0005

Electrical Engineering

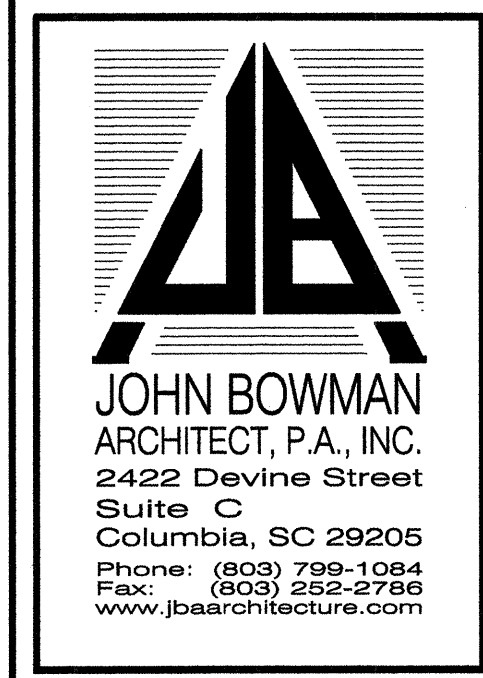
Belka Engineering
 7 Clusters Court, #201
 Columbia, SC 29210
 p| 803.731.0650

Mechanical Engineering

SWYGERT & Associates
 P.O. Box 11686
 Columbia, SC 29211
 p| 803.791.9300

KEY SYMBOLS	INDEX OF DRAWINGS	SCOPE OF WORK	ABBREVIATIONS																																																																																										
BUILDING AND WALL SECTION SECTION NUMBER OR LETTER SHEET WHERE DRAWN	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>SHEET #</th> <th>SHEET NAME</th> </tr> </thead> <tbody> <tr> <td>CO-1</td> <td>COVER SHEET</td> </tr> <tr> <td colspan="2" style="text-align: center;">ARCHITECTURAL DRAWINGS</td> </tr> <tr> <td>LS-01</td> <td>LIFE SAFETY PLAN AND CODE ANALYSIS AND MISCELLANEOUS DETAILS</td> </tr> <tr> <td>A100</td> <td>EXISTING 2ND FLOOR OVERALL FLOOR PLAN AND 1ST FLOOR RENOVATION PLAN</td> </tr> <tr> <td>A101</td> <td>DEMOLITION, RENOVATION AND REFLECTED CEILING FLOOR PLANS AND MISCELLANEOUS DETAILS</td> </tr> <tr> <td>A102</td> <td>ROOM FINISH AND DOOR SCHEDULES AND MISCELLANEOUS DETAILS</td> </tr> <tr> <td colspan="2" style="text-align: center;">STRUCTURAL</td> </tr> <tr> <td>S-1</td> <td>PLANS & NOTES</td> </tr> <tr> <td>S-2</td> <td>DETAILS</td> </tr> <tr> <td colspan="2" style="text-align: center;">MECHANICAL DRAWINGS</td> </tr> <tr> <td>M-1</td> <td>MECHANICAL PLAN</td> </tr> <tr> <td colspan="2" style="text-align: center;">ELECTRICAL DRAWINGS</td> </tr> <tr> <td>E-1</td> <td>ELECTRICAL DEMOLITION AND RENOVATION PLANS</td> </tr> </tbody> </table>	SHEET #	SHEET NAME	CO-1	COVER SHEET	ARCHITECTURAL DRAWINGS		LS-01	LIFE SAFETY PLAN AND CODE ANALYSIS AND MISCELLANEOUS DETAILS	A100	EXISTING 2ND FLOOR OVERALL FLOOR PLAN AND 1ST FLOOR RENOVATION PLAN	A101	DEMOLITION, RENOVATION AND REFLECTED CEILING FLOOR PLANS AND MISCELLANEOUS DETAILS	A102	ROOM FINISH AND DOOR SCHEDULES AND MISCELLANEOUS DETAILS	STRUCTURAL		S-1	PLANS & NOTES	S-2	DETAILS	MECHANICAL DRAWINGS		M-1	MECHANICAL PLAN	ELECTRICAL DRAWINGS		E-1	ELECTRICAL DEMOLITION AND RENOVATION PLANS	<p>THE FOLLOWING IS A GENERAL OVERVIEW OF THE SCOPE OF WORK FOR THE PROPOSED RENOVATION TO THE 2ND FLOOR THORNWELL COLLEGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH APPROPRIATE BUILDING OFFICIALS AND THE OWNER AS REQUIRED TO COMPLETE THE ENTIRE PROJECT AS DESCRIBED AT NO ADDITIONAL COST TO OWNER:</p> <ol style="list-style-type: none"> THE OVERALL SCOPE OF THE WORK INCLUDES RENOVATING APPROXIMATELY 1,307 SF ON THE 2ND FLOOR OF THORNWELL COLLEGE INTO 5 OFFICES AND A WORK ROOM. ALSO INCLUDED IN THE SCOPE OF WORK IS TO CONVERT THE EXISTING WORK ROOM 234 INTO AN OFFICE SPACE. REMOVE AND REINSTALL WALL MATERIALS ON THE 1ST FLOOR AS REQUIRED TO INSTALL NEW STRUCTURAL COLUMNS. PROVIDE DEMOLITION WORK AS SHOWN, INCLUDING REMOVAL OF EXISTING PARTITIONS, CEILINGS, FLOORING, & LIGHT FIXTURES, HVAC UNIT AND DUCTWORK AS SHOWN. SALVAGE EXISTING DOORS, FRAMES, HVAC EQUIPMENT AND LIGHT FIXTURES FOR REUSE AS INDICATED. CONSTRUCT NEW WALL AND PARTITIONS AS SHOWN. PROVIDE NEW FLOOR, CEILINGS AND WALL FINISHES AS SHOWN. PAINT ALL WALLS AND DOORS AS INDICATED. INSTALL NEW LIGHTING, POWER, HVAC, DUTWORK, ETC. AS SHOWN. REUSE EXISTING ITEMS WHEN PERMITTED CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND INSTALLING ALL WORK AS SHOWN. NOTE THE BUILDING WILL BE OCCUPIED THOROUGHOUT THE DURATION OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY POWER AND/OR UTILITY OUTAGES AS REQUIRED TO MINIMIZE DISRUPTION TO OTHER PORTIONS OF THE BUILDING. 	<table style="width: 100%;"> <tr> <td>BD. BOARD</td> <td>JT. JOINT</td> </tr> <tr> <td>BLDG. BUILDING</td> <td>M.O. MASONRY OPENING</td> </tr> <tr> <td>CL. CENTER LINE</td> <td>MAX. MAXIMUM</td> </tr> <tr> <td>C.J. CONTROL JOINT</td> <td>MECH. MECHANICAL</td> </tr> <tr> <td>CEIL. CEILING</td> <td>MTL. METAL</td> </tr> <tr> <td>C.T. CERAMIC TILE</td> <td>MIN. MINIMUM</td> </tr> <tr> <td>C.G. CORNER GUARD</td> <td>N/A. NOT APPLICABLE</td> </tr> <tr> <td>CMU. CONCRETE MASONRY UNIT</td> <td>N.I.C. NOT IN CONTRACT</td> </tr> <tr> <td>COMP. COMPOSITE</td> <td>N.T.S. NOT TO SCALE</td> </tr> <tr> <td>COL. COLUMN</td> <td>O.C. 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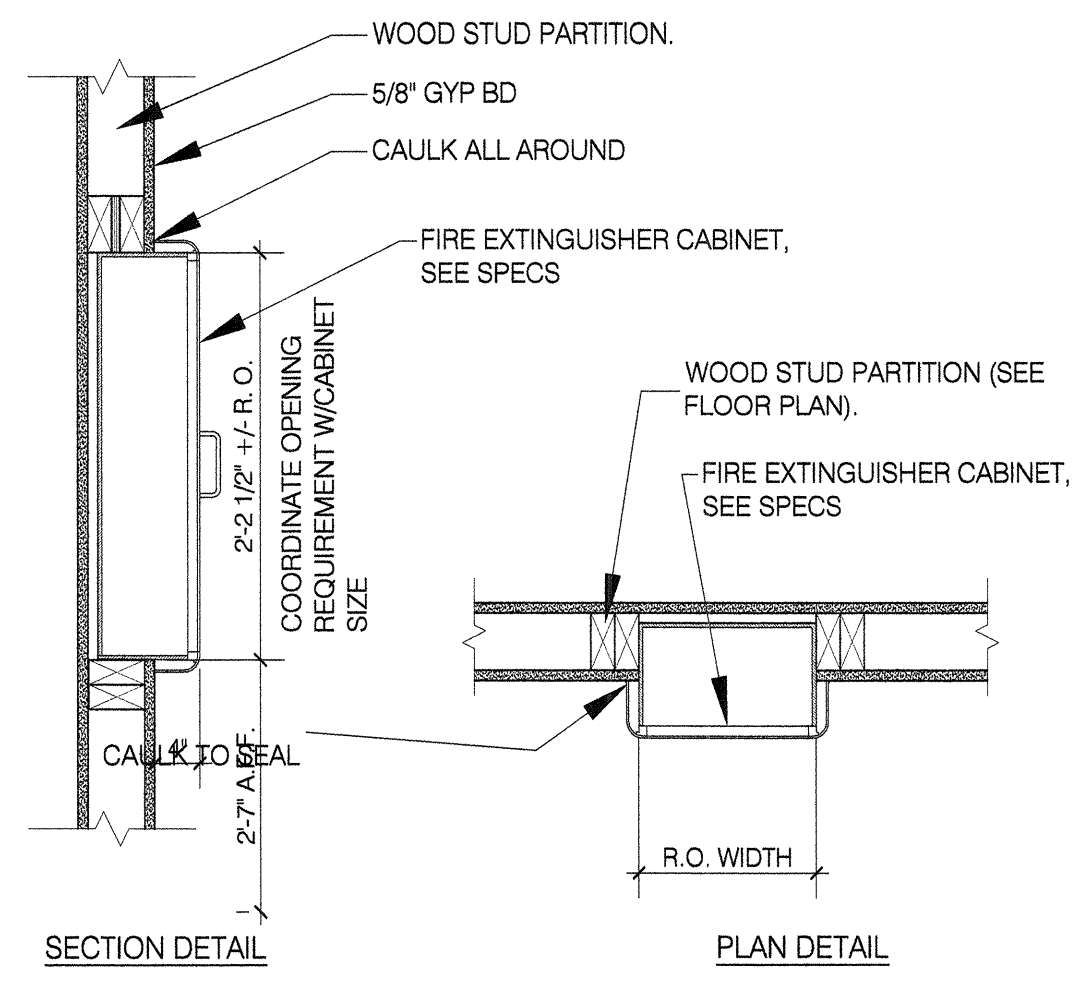
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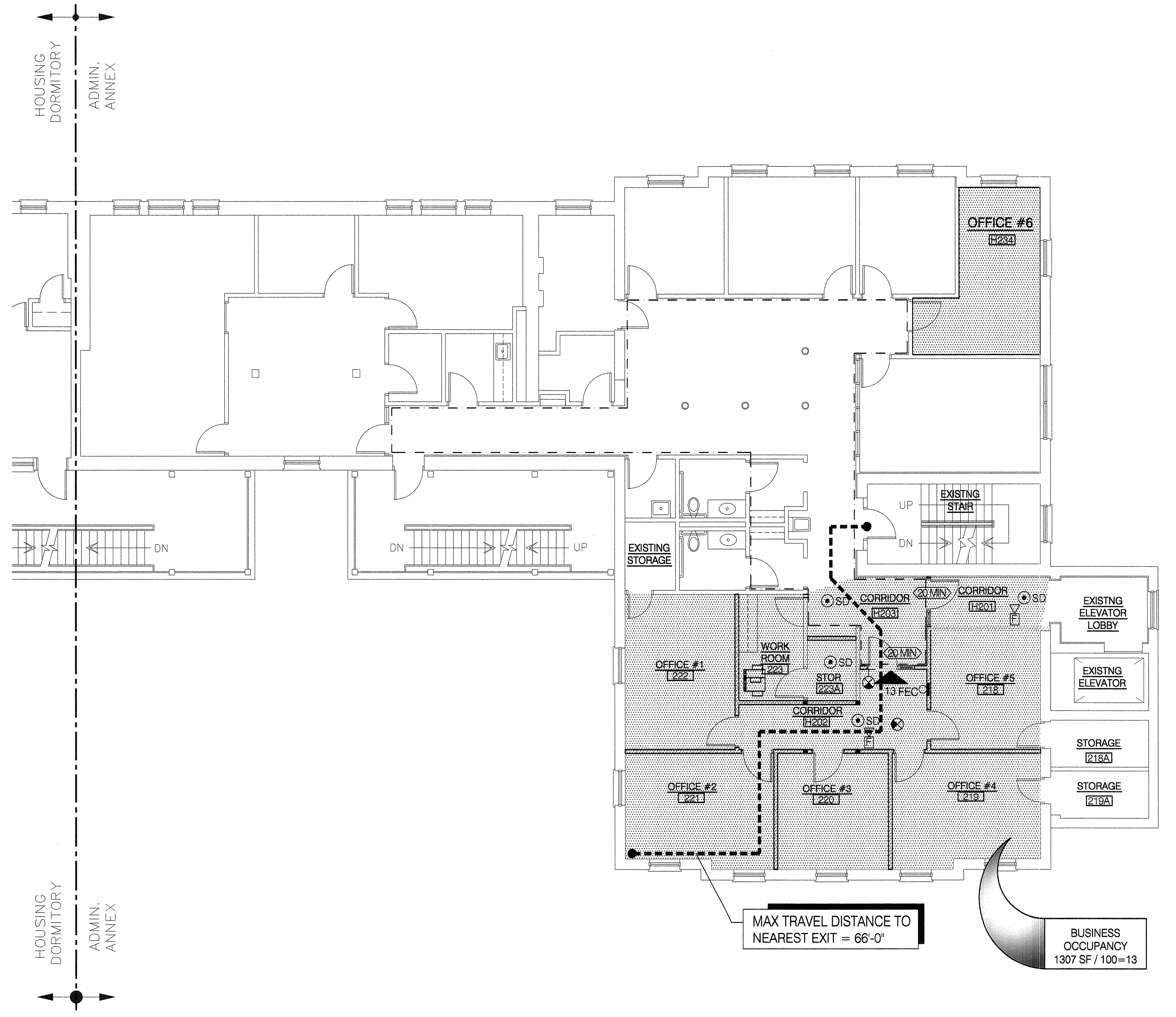
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DESIGNED BY: JB
 DRAWN BY: CC/LD
 CHECKED BY: JB
 DATE: 07/18/2012
 SCALE: AS NOTED
 JOB NO.: HED-12-1002

CO-1



1 FIRE EXTINGUISHER CABINET DTL. SCALE: 1"=1'-0"



SYMBOLS AND LEGEND

- SCOPE OF WORK LIMITS
- 1-HOUR RATED WALL
- MTD = 50'-0" MAXIMUM TRAVEL DISTANCE
- NUMBER OF OCCUPANTS EXITING ROOM OR AREA
- SMOKE DETECTOR
- EXIT SIGN
- DOOR FIRE RATING
- FIRE ALARM HORN AND STROBE (SEE ELECTRICAL)
- FIRE EXTINGUISHER CABINET

PARTIAL SECOND FLOOR - LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

BUILDING CODE ANALYSIS

THIS PROJECT IS DESIGNED IN ACCORDANCE WITH
 1. International Existing Building Code - 2009 EDITION
 1. International Building Code - 2009 EDITION
 2. International Fire Code - 2009 Edition
 3. International Fuel Gas Code - 2009 Edition
 4. International Mechanical Code - 2009 Edition
 5. International Plumbing Code - 2009 Edition
 6. ICC Electrical Code, Administrative Provisions, Administrative Provisions, ICCEC - 2009 Edition
 7. National Electrical Code, NFPA 70, Latest Edition
 8. National Electrical Safety Code, ANSI - C2 - Latest Edition
 9. ICC/ANSI - A117.1 - Accessible and Usable Buildings and Facilities, Latest Edition

FLOOD HAZARD INFORMATION and FLOOD LOADS (NOT APPLICABLE)
 SOILS AND SITE INFORMATION (NOT APPLICABLE)

BASIC CODE REVIEW INFORMATION

CODE ITEM	CODE REFERENCE	DESIGNATION APPLIED	
		EXISTING 2ND FL	PROPOSED 2ND FL RENOVATION
OCCUPANCY CLASSIFICATION	CHAPTER 3	BUSINESS	BUSINESS
CONSTRUCTION CLASSIFICATION	CHAPTER 6	TYPE IIIA	TYPE IIIA
BUILDING HEIGHT ALLOWED	CHAPTER 5 TABLE 503	65'-0"	NA
BUILDING HEIGHT AS DESIGNED		45'-0"	NA
BUILDING AREA ALLOWED	CHAPTER 5 TABLE 503	28,500 SQ. FT.	28,500 SQ. FT.
BUILDING AREA AS DESIGNED		12,348 SQ. FT.	1,307 SQ. FT.
STORIES ALLOWED	CHAPTER 5 TABLE 503	5	NA
STORIES AS DESIGNED		3	3
OCCUPANT LOAD	TABLE 1004.1.1	VARIABLES	1,307 / 100 = 13 PEOPLE

STRUCTURAL MEMBERS

STRUCTURAL FRAME	CHAPTER 6 TABLE 601	1 HR (EXISTING)	1 HR (IBC TABLE 720.1(1) ITEM # 1-7.1)
EXTERIOR BEARING WALLS	CHAPTER 6 TABLE 601	2 HR (EXISTING)	NOT APPLICABLE
INTERIOR BEARING WALLS	CHAPTER 6 TABLE 601	1 HR (EXISTING)	1 HR (UL U-305)
EXTERIOR NON-BEARING WALLS AND PARTITIONS	CHAPTER 6 TABLE 601	1 HR (EXISTING)	NOT APPLICABLE
INTERIOR NON-BEARING WALLS AND PARTITIONS	CHAPTER 6 TABLE 601	0	0
FLOOR CONSTRUCTION	CHAPTER 6 TABLE 601	1 HR (EXISTING)	1 HR (GA FILE NO. FC5406)
ROOF CONSTRUCTION	CHAPTER 6 TABLE 601	1 HR (EXISTING)	NOT APPLICABLE

SEPARATION WALLS

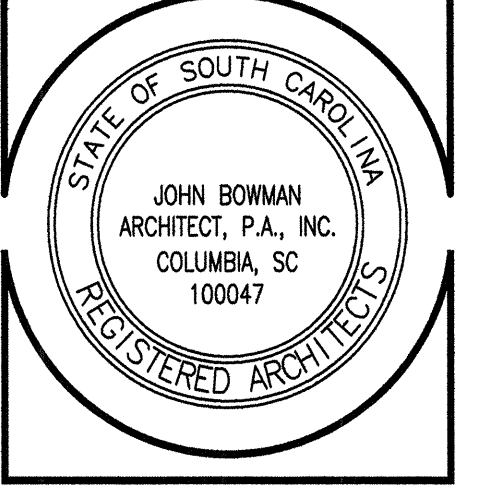
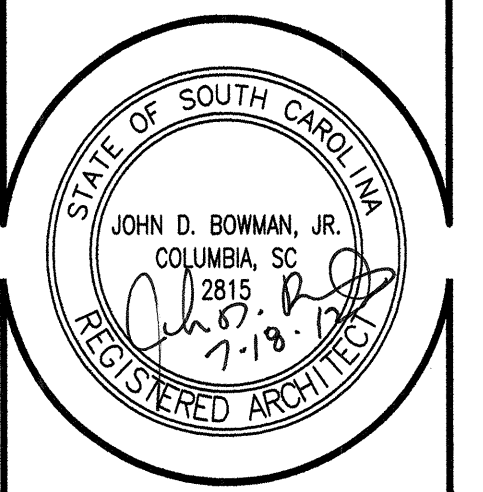
FIRE WALLS	TABLE 706.4	4 HR (EXISTING)	NOT APPLICABLE
OCCUPANCY SEPARATION WALLS	TABLE 508.4	(EXISTING)	NOT APPLICABLE
EXIT STAIR	SECTION 708	1 HR (EXISTING)	NOT APPLICABLE
HORIZONTAL EXIT	SECTION 1025	NOT APPLICABLE	NOT APPLICABLE
EXIT DISCHARGE	SECTION 1027	NOT APPLICABLE	NOT APPLICABLE
EXIT ACCESS CORRIDOR WALLS	TABLE 1018.1	1 HR (EXISTING)	1 HR (UL U-305)
ELEVATOR SHAFTS WALLS	SECTION 708	1 (EXISTING)	NOT APPLICABLE

GENERAL FIRE PROTECTION REQUIREMENTS FOR RENOVATION PORTION

SEPERATIONS			
Fireblocking Required	<input type="checkbox"/> no	<input checked="" type="checkbox"/> yes	per IBC Section 717
Draftstopping Required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IBC Section 717
Smoke Control System Required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IBC Section 909
Smoke Barriers Required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IBC Sections 407 and 408
Fire Partition Required	<input type="checkbox"/> no	<input checked="" type="checkbox"/> yes	per IBC Section 709
Fire Barrier Required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IBC Section 707
ALARM & DETECTION			
Fire Alarm System Required	<input type="checkbox"/> no	<input checked="" type="checkbox"/> yes	per IFC Section 907
Emergency Alarm System Required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IFC Section 908
SUPPRESSION			
Standpipes Required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IBC Section 905
Sprinklers Required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IBC Sections 903
Portable extinguishers required	<input type="checkbox"/> no	<input checked="" type="checkbox"/> yes	per IFC Sections 906
Other suppression systems required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IFC Section 904
Smoke & heat vents required	<input checked="" type="checkbox"/> no	<input type="checkbox"/> yes	per IFC Section 910

REVISIONS

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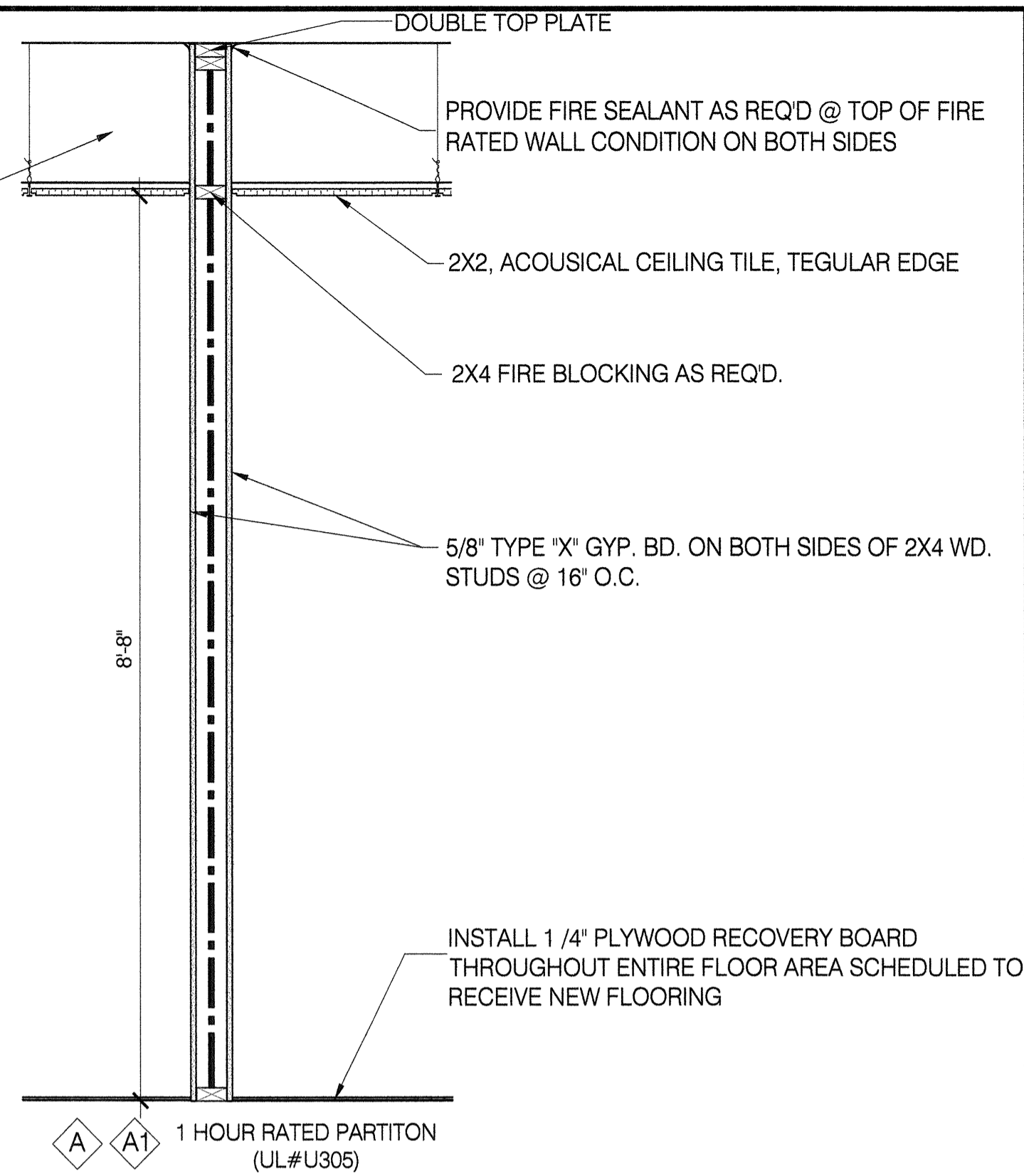


PAGE NAME
 LIFE SAFETY PLAN AND CODE INFORMATION AND MISC DETAILS

DESIGNED BY: JB
 DRAWN BY: CCALD
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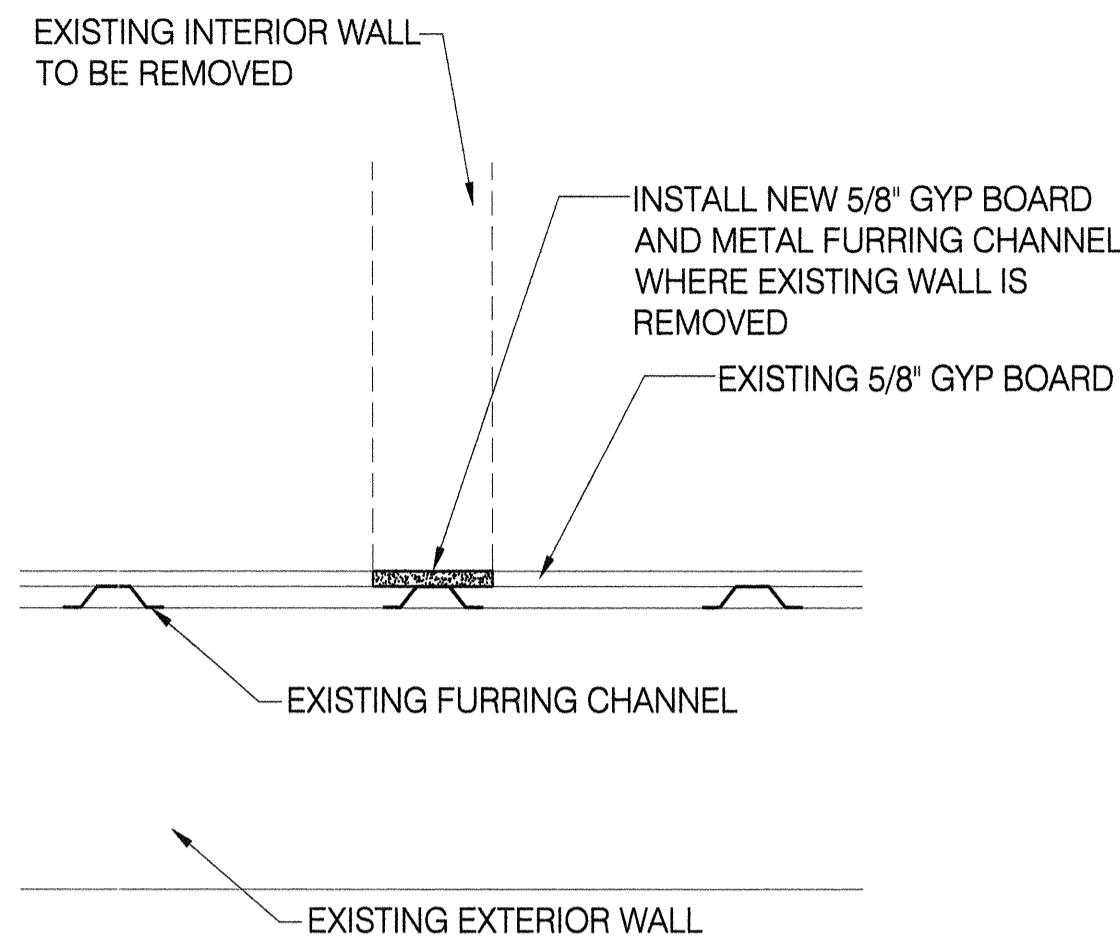
LS-01

ALL FIRE RATED WALLS SHALL BE PERMANENTLY IDENTIFIED ON BOTH SIDES ABOVE CEILING WITH THE WORDING "1 HOUR FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS"



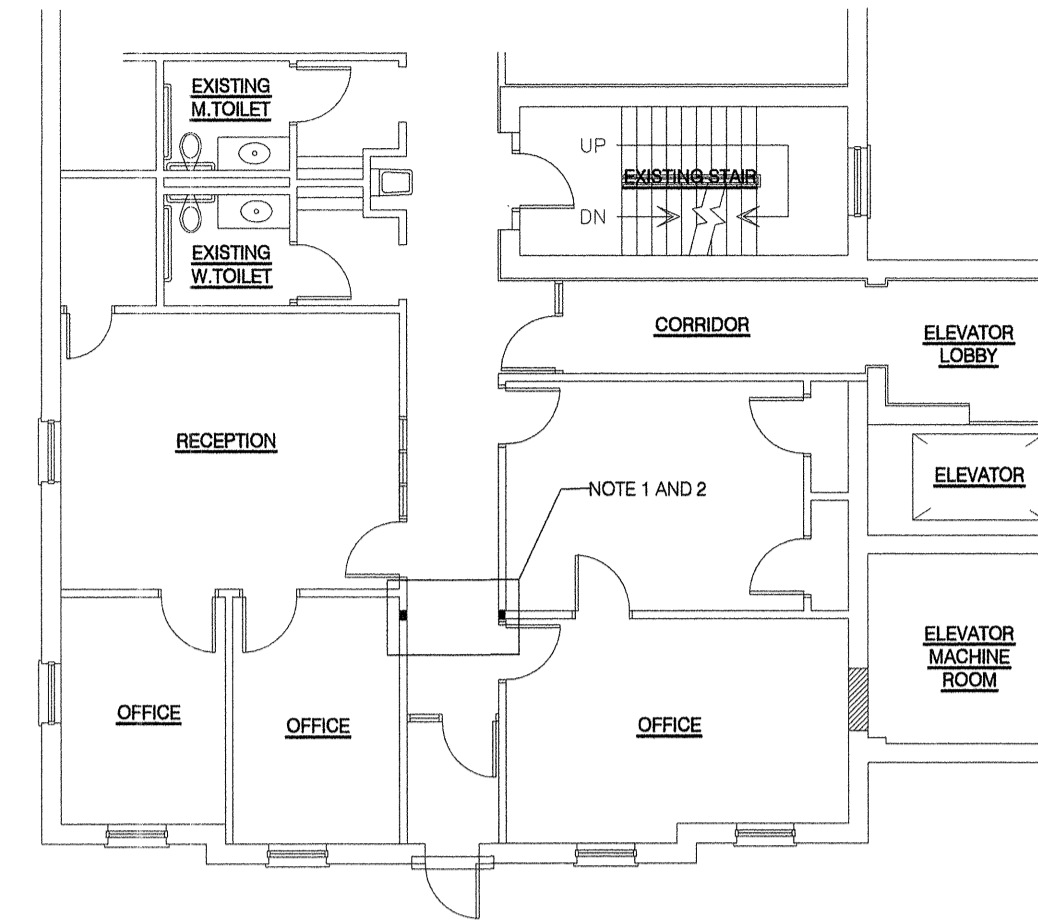
1 INTERIOR WALL TYPE SECTION

SCALE: 3/32"=1'-0"



2 EXTERIOR WALL REPAIR DETAIL

SCALE: 1 1/2"=1'-0"

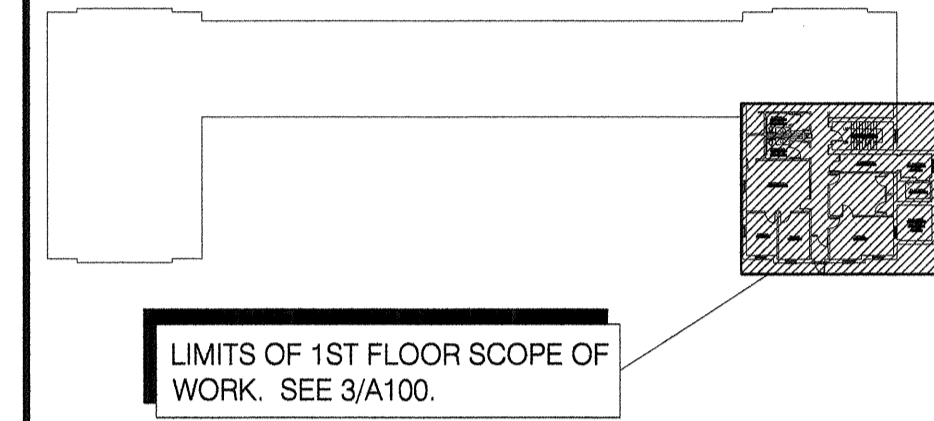


3 PARTIAL FIRST FLOOR PLAN

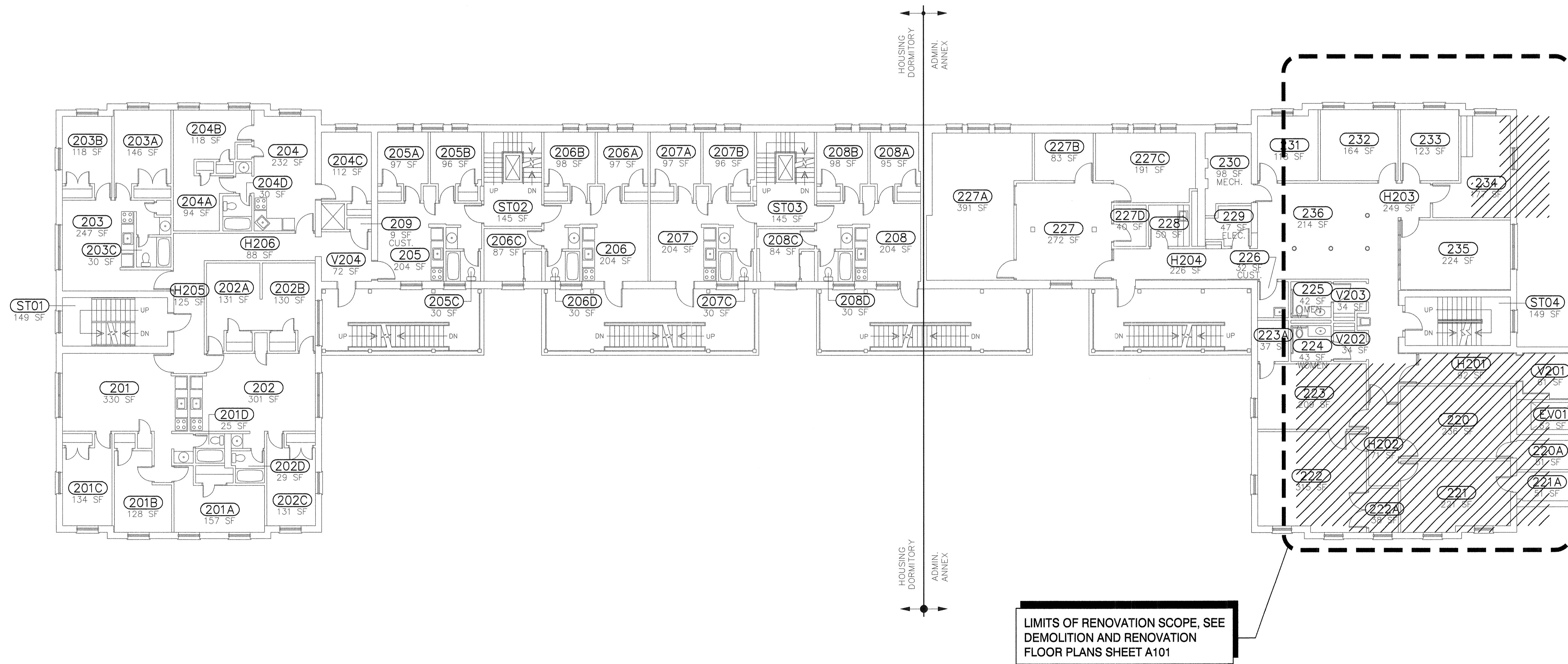
SCALE: 3/32"=1'-0"

FIRST FLOOR PLAN NOTES

1. REMOVE AND REINSTALL EXISTING GYPSUM BOARD, STUDS, CEILING TILE AND GRID, DOOR FRAME, ETC. IN THIS AREA AS REQUIRED TO INSTALL NEW COLUMNS. SEE STRUCTURAL SHEET S-1 FOR SCOPE OF WORK.
2. REINSTALL / REPAIR EXISTING WALLS, FLOORS, CEILING, DOOR, BASE, ETC. BACK TO ITS ORIGINAL CONDITION. PAINT NEW AND DAMAGED EXISTING WALLS MATERIALS AS REQUIRED FOR NEAT APPEARANCE.



FIRST FLOOR KEY PLAN



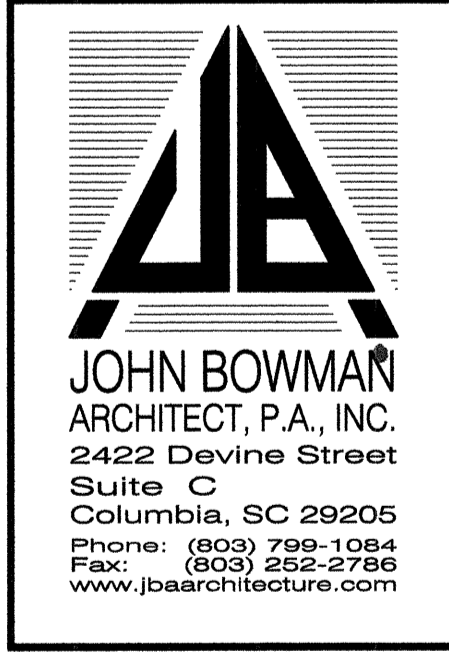
4 EXISTING OVERALL SECOND FLOOR PLAN

SCALE: 3/32"=1'-0"

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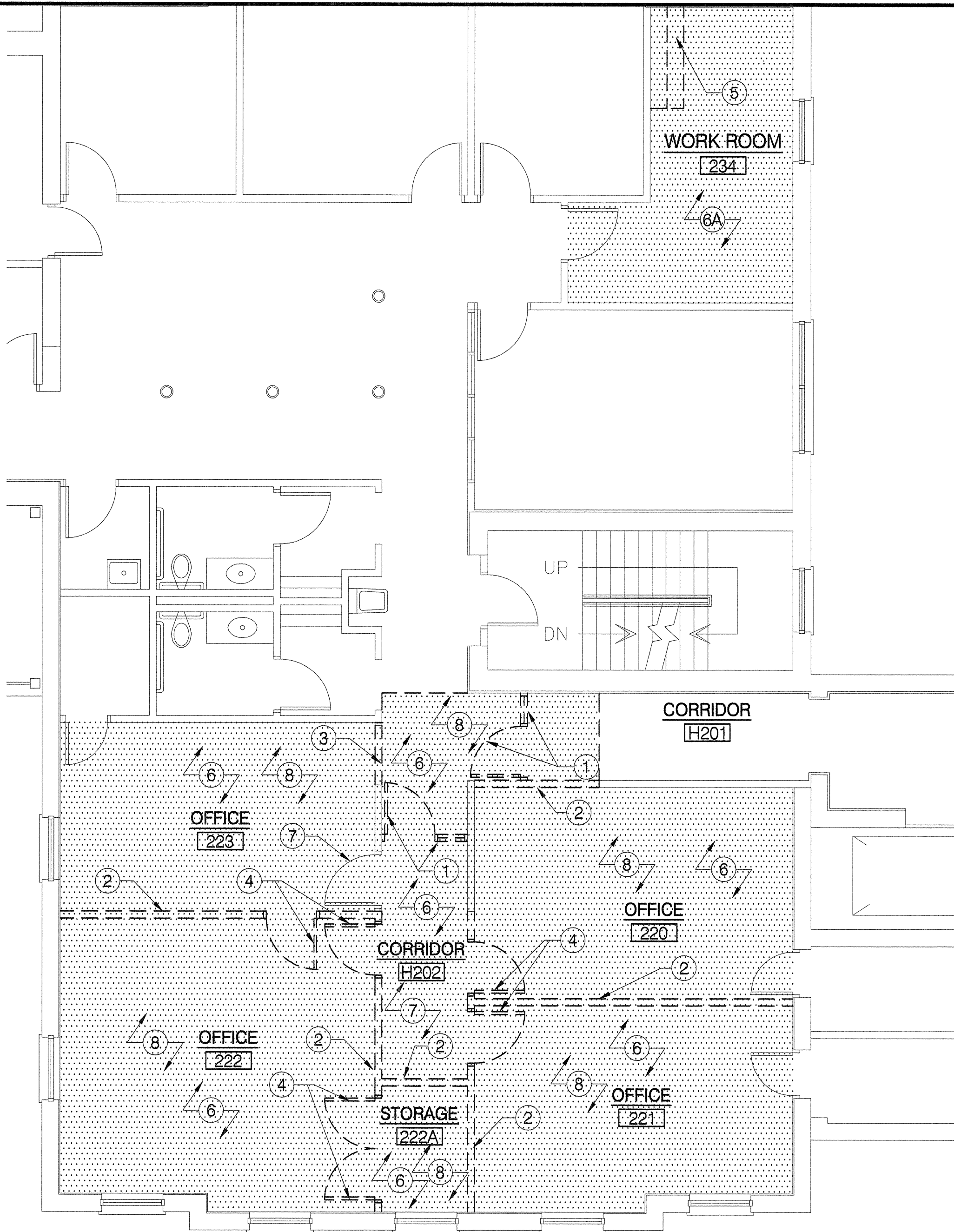
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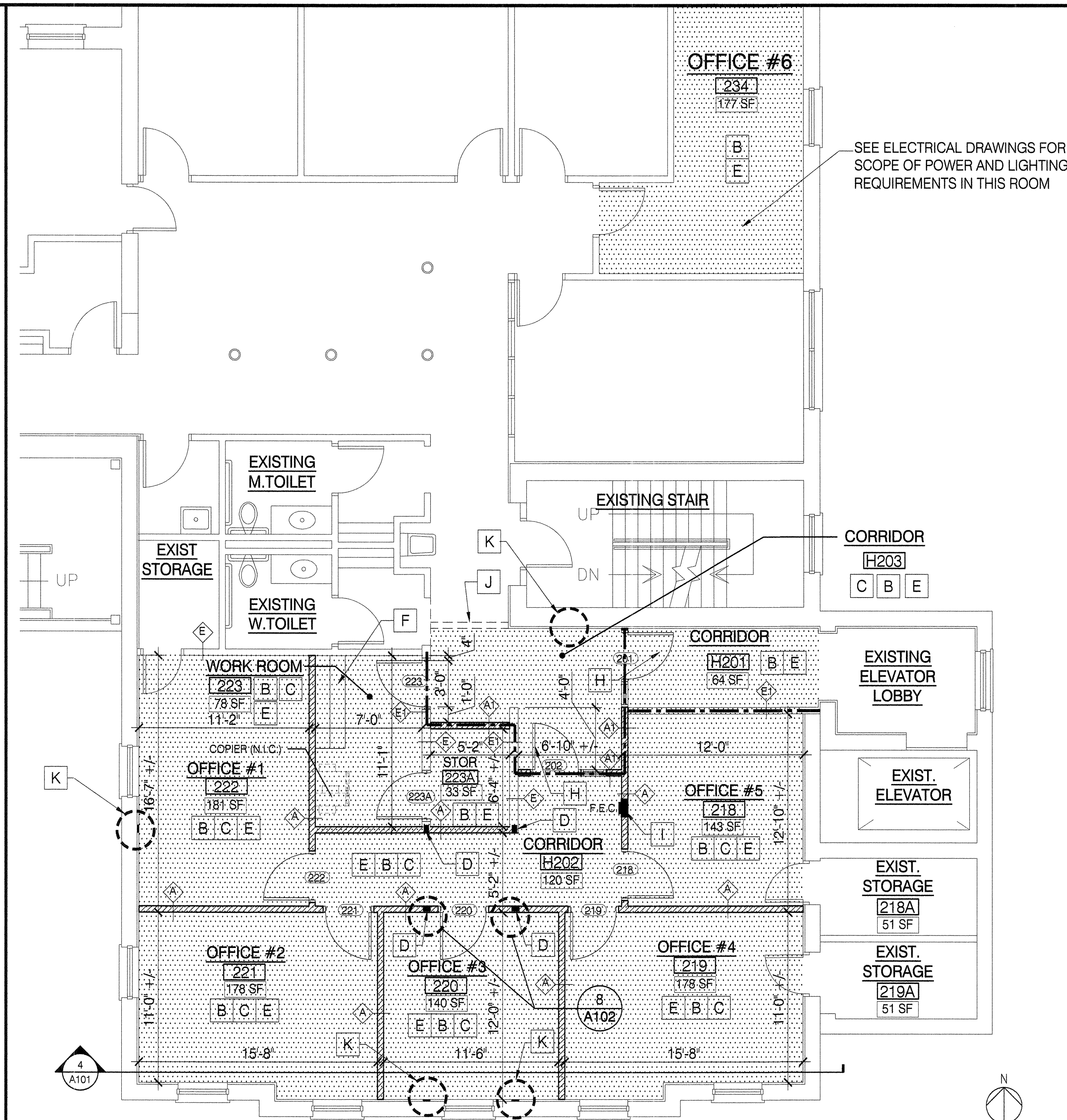
PAGE NAME
 EXISTING FIRST AND SECOND FLOOR PLAN

DESIGNED BY: JB
 DRAWN BY: CC/LD
 CHECKED BY: JB
 DATE: 07/18/2012
 SCALE: AS NOTED
 JOB NO.: HED-12-1002

A100



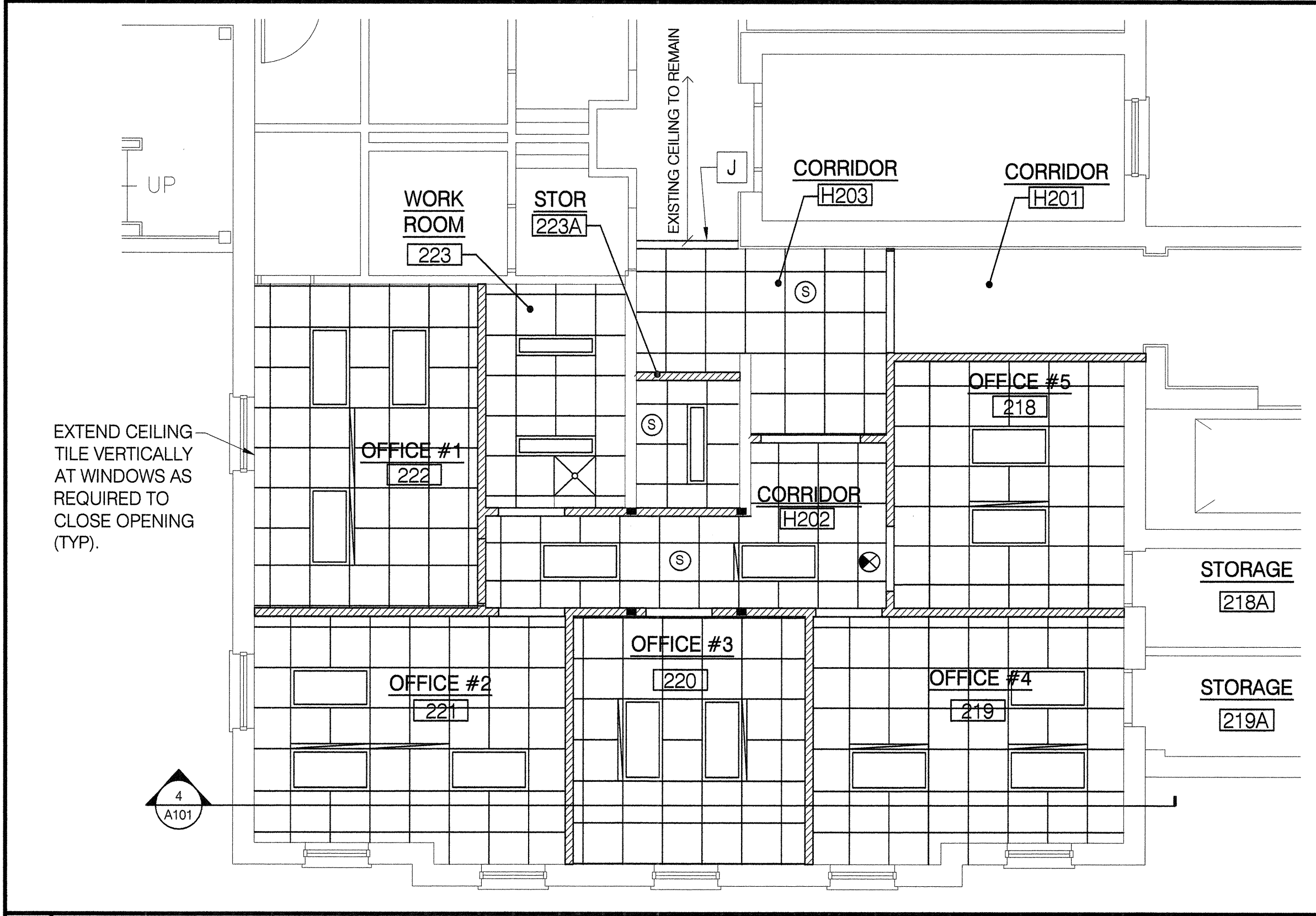
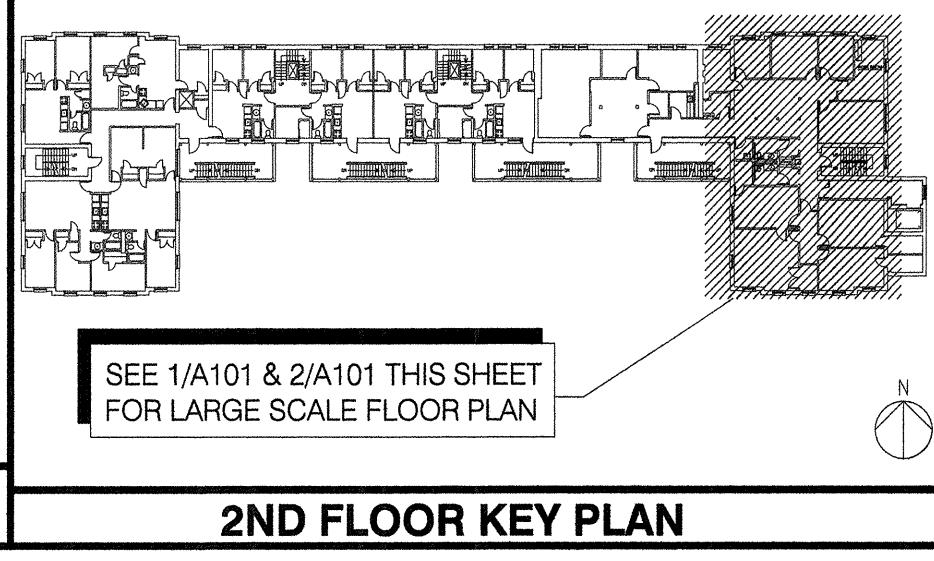
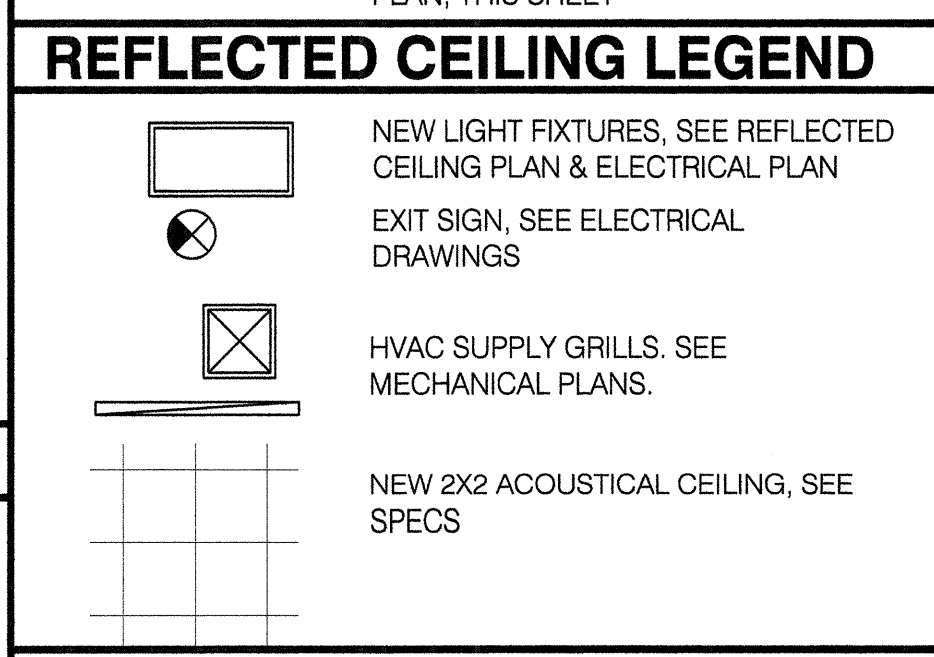
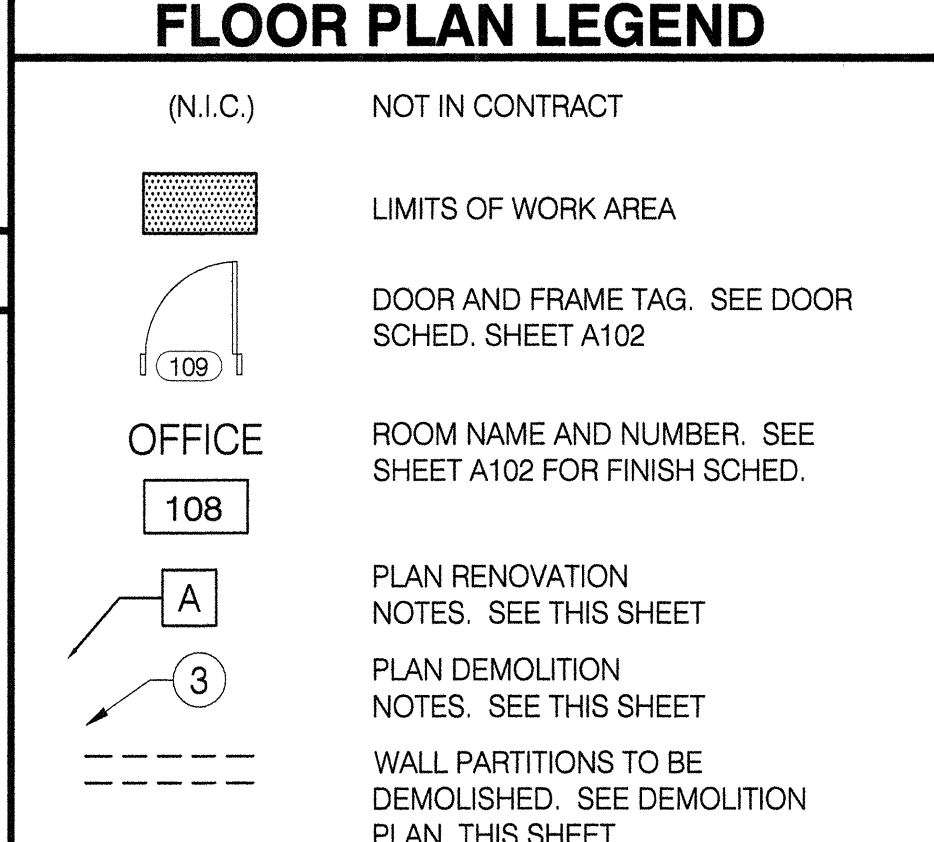
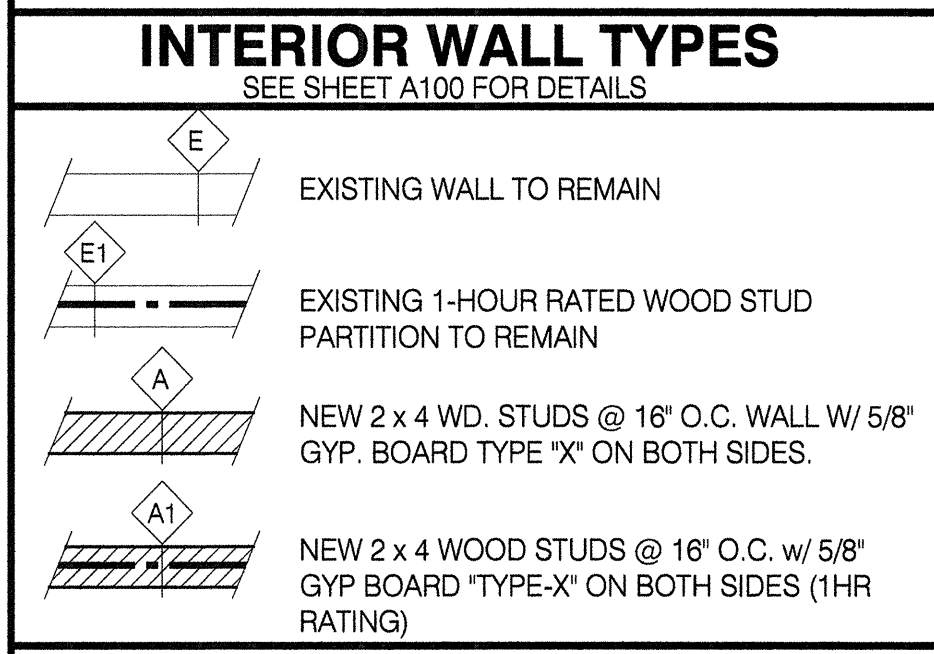
1 PARTIAL 2ND FLOOR DEMOLITION PLAN SCALE: 3/16" = 1'-0"



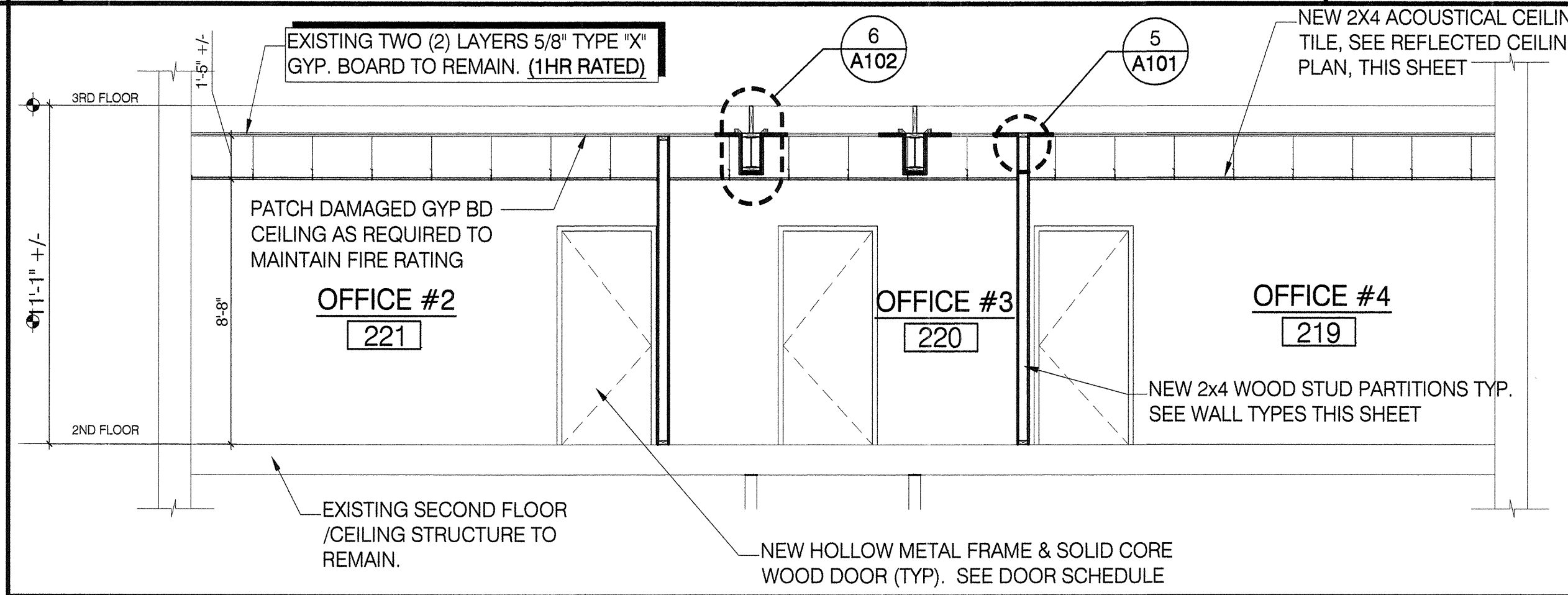
2 PARTIAL 2ND FLOOR RENOVATION PLAN SCALE: 3/16" = 1'-0"

- ### DEMOLITION NOTES 1
- REMOVE EXISTING HOLLOW METAL DOOR FRAME, SIDELIGHT & HARDWARE. AND SALVAGE FOR REINSTALLATION IN NEW LOCATION.
 - REMOVE EXISTING WOOD STUD WALLS AND DOORS COMPLETE.
 - REMOVE PORTION OF EXISTING WALL AS REQUIRED TO INSTALL NEW DOOR AND FRAME IN THIS AREA.
 - REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
 - RELOCATE EXISTING BASE AND WALL CABINETS TO NEW WORK ROOM.
 - REMOVE EXISTING CARPET AT NOTE 6. REMOVE EXISTING VINYL COMPOSITION FLOOR TILE AT NOTE 6A.
 - REMOVE EXISTING LOCKSET AND REPLACE WITH STORAGE TYPE LOCKSET. SEE SPECS.
 - REMOVE EXISTING ACOUSTICAL CEILING TILE AND GRID IN THIS AREA. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR SCOPE OF LIGHT FIXTURES AND DIFFUSERS TO BE SALVAGED FOR REUSE.

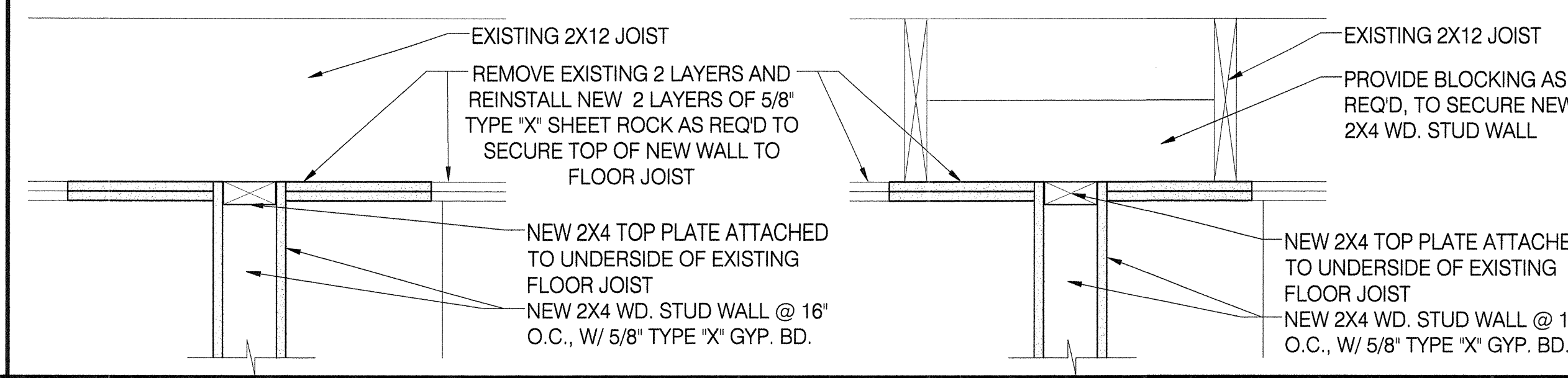
- ### RENOVATION NOTES A
- INSTALL NEW WALL PARTITIONS AS SHOWN. SEE WALL TYPES.
 - PAINT WALLS, DOORS, ETC. AS NOTED IN THIS SPACE, INCLUDING NEW AND EXISTING PARTITIONS. SEE FINISH SCHEDULE.
 - INSTALL NEW 2X4 ACOUSTICAL CEILING GRID, AND TILE. SEE REFLECTED CEILING PLAN THIS SHEET. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR SCOPE OF LIGHTING/DIFFUSERS.
 - INSTALL NEW SUPPORT COLUMNS. SEE STRUCTURAL. WRAP EACH COLUMN WITH 2-HR RATED GYP BD. SEE DETAIL 8/102.
 - INSTALL NEW FLOOR & BASE FINISH AS SCHEDULED, INCLUDING 1/4" PLYWOOD RECOVERY SUBFLOOR.
 - INSTALL EXISTING CASEWORK AS SHOWN.
 - INSTALL NEW DOOR AND FRAME AS SHOWN.
 - REINSTALL EXISTING HOLLOW METAL DOOR FRAME & EXISTING SOLID CORE WOOD DOOR AS SHOWN. SEE DOOR AND FRAME SCHEDULE, SHEET A102.
 - INSTALL NEW FIRE EXTINGUISHER & CABINET AS SHOWN. SEE SPECS.
 - INSTALL GYPSUM BOARD BUCKHEAD AT CEILING.
 - PATCH EXISTING GYP BD WALL AS REQUIRED WHERE EXISTING WALLS ARE REMOVED. SEE DETAIL SHEET A100.



3 PARTIAL 2ND FLOOR REFLECTED CEILING PLAN SCALE: 3/16" = 1'-0"

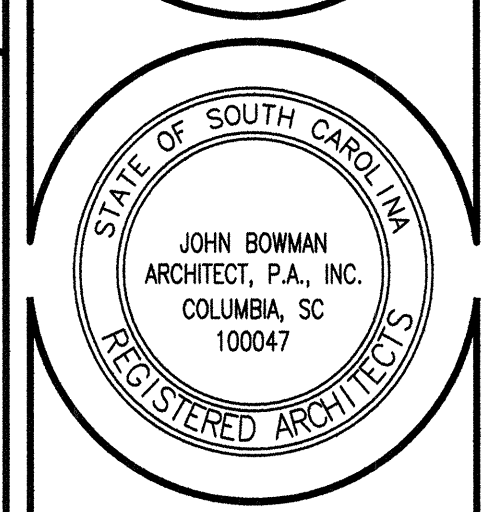
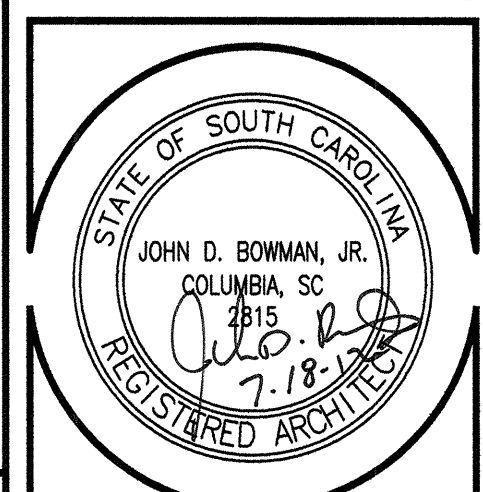


4 BUILDING SECTION THRU 2ND FLOOR RENOVATED AREA SCALE: 1/4" = 1'-0"



5 SECTION DETAIL @ WALL/CEILING INTERSECTION SCALE: 1 1/2" = 1'-0"

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THORNWELL 2ND FLOOR RENOVATIONS
 PROJ. NO.: CP00343152/FM00392260
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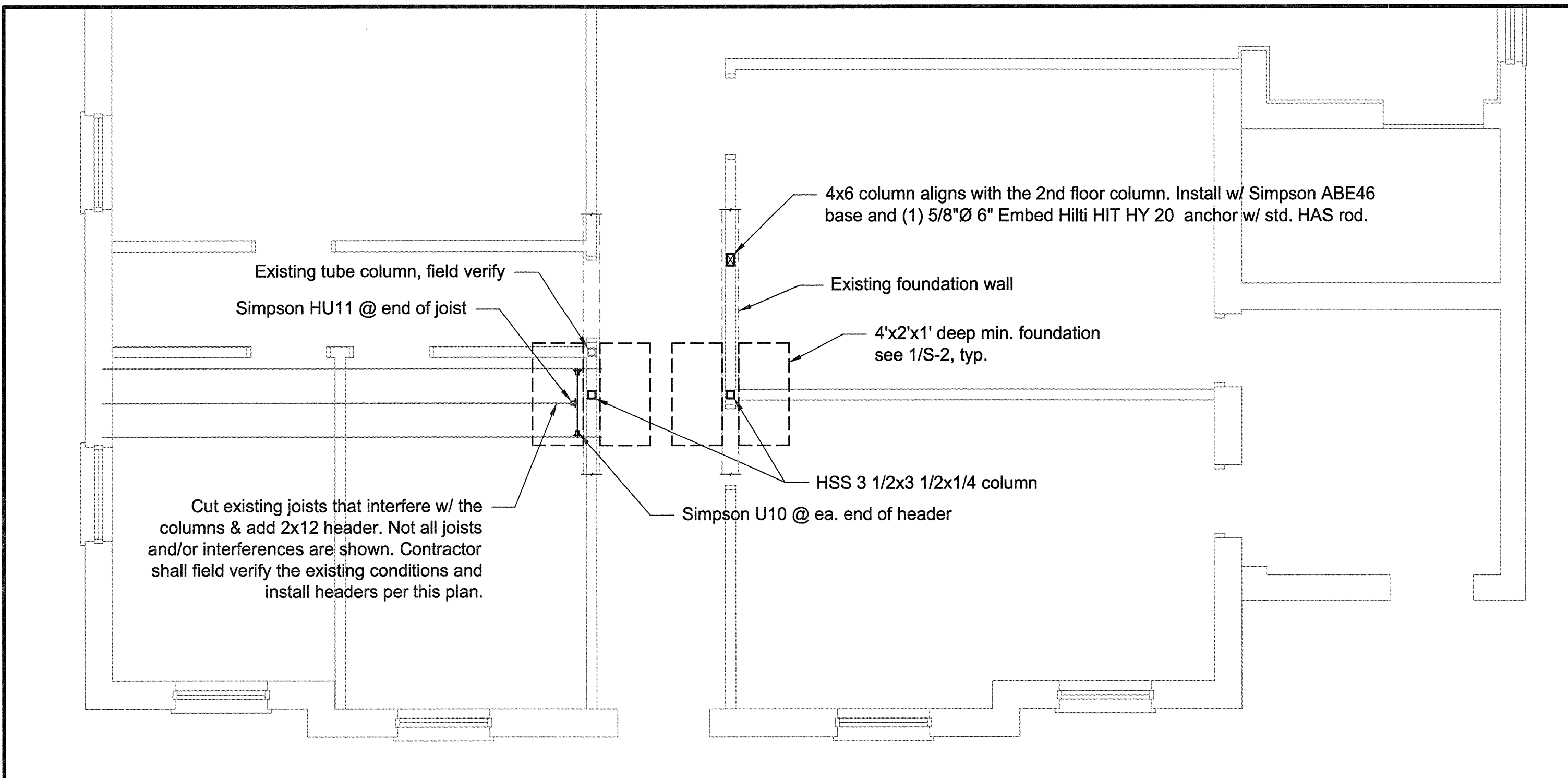
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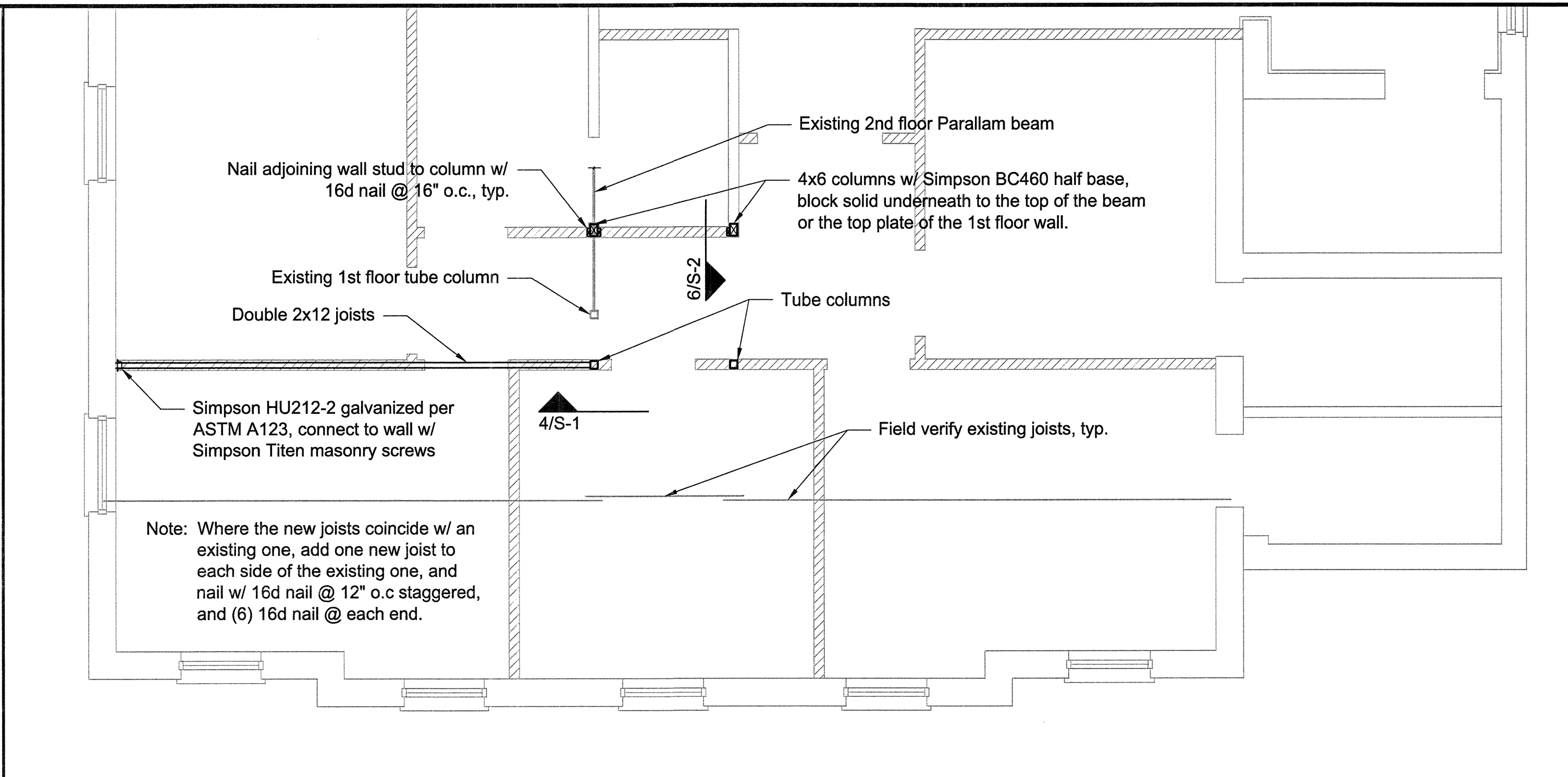
PAGE NAME
DEMOLITION, RENOVATION, REFLECTED CEILING FLOOR PLANS

DESIGNED BY: JB
 DRAWN BY: CC/LD
 CHECKED BY: JB
 DATE: 07/18/2012
 SCALE: AS NOTED
 JOB NO.: HED-12-1002

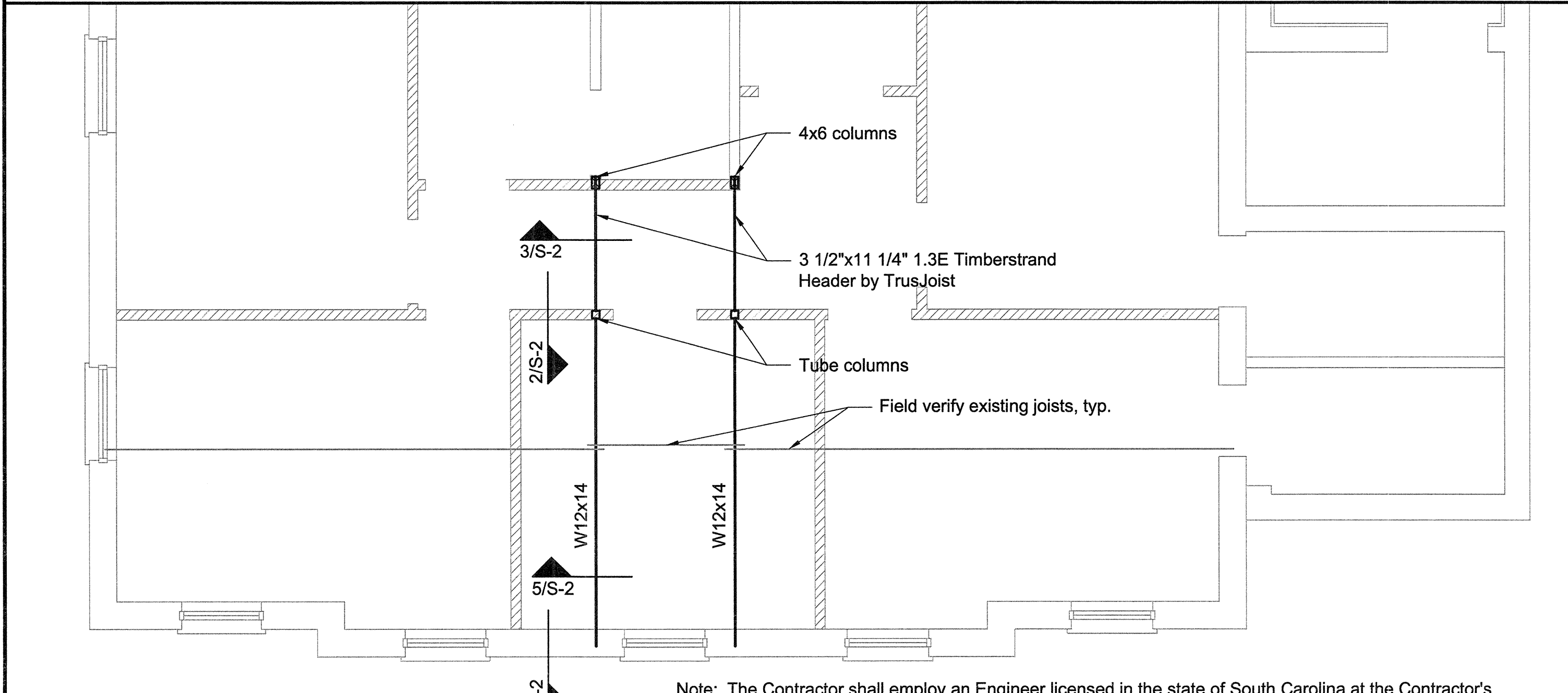
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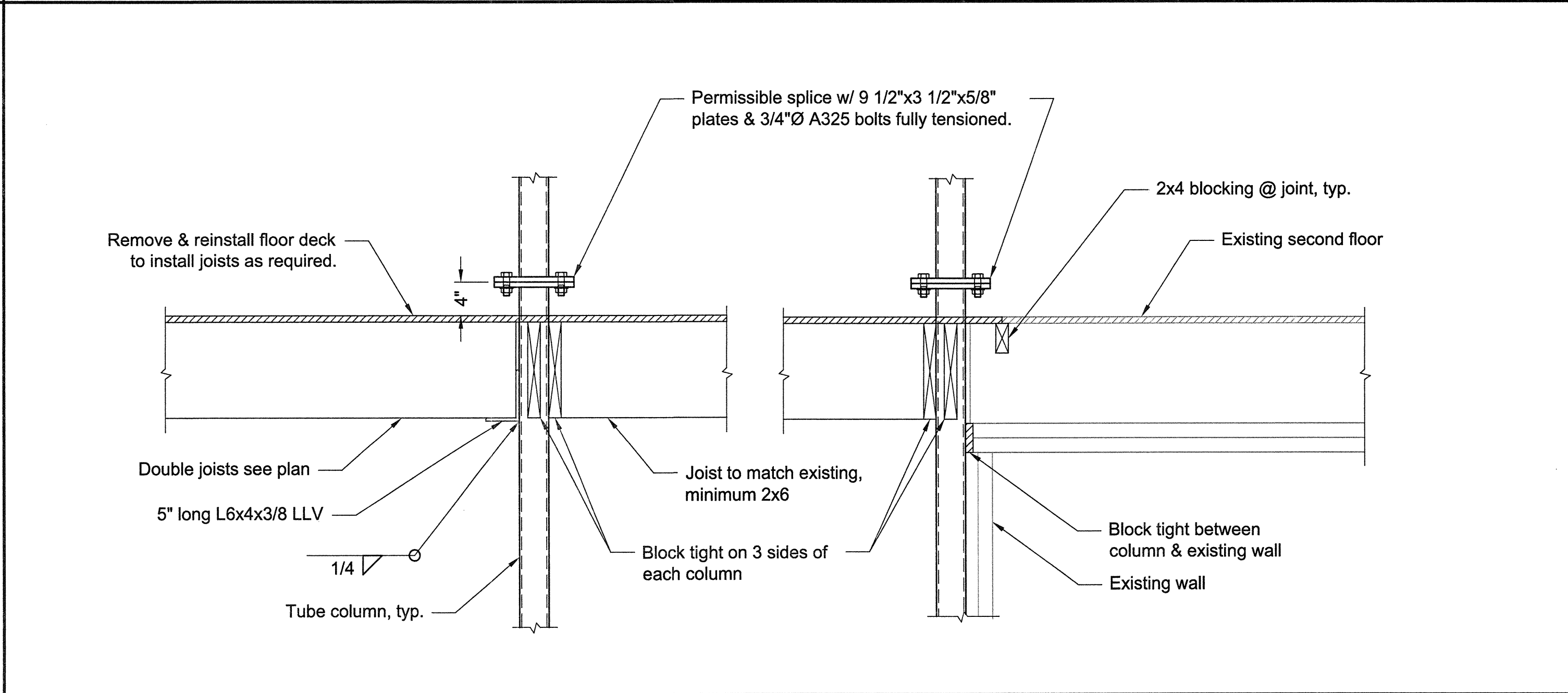
1. Foundation & First Floor Plan Scale: 1/4" = 1'



2. Second Floor Plan Scale: 1/4" = 1'



3. Second Floor Ceiling Framing Plan (Third Floor Framing) Scale: 1/4" = 1'



4. Second Floor Section Scale: 1" = 1'

General Notes:

- Design Specifications: International Building Code (2006 Edition).
- Design Loads:
Roof live load: 20 PSF
Snow load: 10 PSF
Floor live load: Office: 50 PSF
First Floor Corridor: 100 PSF
Upper Floor Corridor: 80 PSF
Dead load: Actual
- Where there is a discrepancy in dimensions and/or details between Architectural and Structural drawings, the Architectural drawings shall govern, provided that the strength is not affected.
- Where a detail is shown on Structural drawings for one condition, it shall apply to all like conditions, unless noted or shown otherwise on plans.
- The Contractor is responsible for the construction falsework design if any is needed. The design shall be performed, sealed and signed by an Engineer licensed in the state of South Carolina and shall be submitted for approval before commencing of the work.
- All elements shall be securely installed square, plumb, and true, or in other positions as shown on the drawings.
- Unless the Contractor obtains a written approval from the Engineer, no field alteration of any element is allowed that will cause violation of the drawings and/or the specifications in any parts or works.
- During the shop drawing process, the Contractor shall clearly cloud line all the deviations from the original design, and shall obtain written approval from the Engineer prior to fabrication.
- The dimensions shown with a suffix "±" are approximate. The Contractor shall be responsible to measure the accurate dimensions prior to fabrication.

Wood:

- The wood work shall comply with the AF&PA NDS-2005 "National Design Specification for Wood Construction".
- All dimension lumber shall be Southern Pine No. 2 bearing the grade mark of a certified inspection agency. All lumber shall be Preservative Treated (PT) where and only where noted as such on plan.
- All metal connectors shall be hot-dipped galvanized per ASTM A123 or ASTM A653. The minimum zinc coating shall be G185 - 1.85 oz. of zinc per square foot of surface area total both sides.
- All fasteners including but not limited to nails, screws and bolts shall be hot-dipped galvanized per ASTM A153.
- The metal connectors shall be Simpson StrongTie as specified on the plans. Substitutes are subject to the Engineer's approval, and allowed only if the request is submitted with product data in advance. The product data must contain the connection capacity and product finish information and any other pertinent information.
- Metal connectors installation shall comply strictly with the manufacturer's specification.
- All nails shall be commercial grade common wire nails. Nails shall be sufficiently spaced to develop maximum connection strength without splitting the members. All split members shall be replaced.
- All bolts used in wood connections shall be ASTM A307. Unless noted otherwise on plans, all bolts shall be installed with standard galvanized washers under both the heads and nuts. The bolts shall be torqued until the wood just begins to yield. The bolts shall not be overtorqued to deform the wood. Bolt holes shall be a minimum of 1/32" to a maximum of 1/16" larger than the bolt size. Where the bolt head is undersunk into wood, the wood member shall be cut so that the bolt head flushes with the member surface.
- All new floor deck thickness shall match the existing. The new floor deck shall have a minimum span rating of 48/24. Blocking with 2x6 shall be installed along all unsupported panel edges. The floor deck shall be nailed to the joists or blocking w/ 10d nails @ 6" o.c. along all panel edges and 12" o.c. along intermediate supports.

Structural Steel:

- All structural steel work shall comply with AISC-360-05 "Specification for Structural Steel Buildings" and AISC 303-05 "Code of Standard Practice for Steel Buildings and Bridges".
- All tube steel shall conform to ASTM A500 grade B, FY = 46,000 PSI. All W-section steel shall conform to ASTM A992, FY=50,000 PSI. All other structural steel shall conform to ASTM A36, FY = 36,000 PSI.
- All welding shall comply with AWS D1.1 "Structural Welding Code - Steel". All electrodes shall be E70XX grade. Unless noted otherwise on plans, all welds shall have a minimum thickness of 3/16".
- Unless noted otherwise on plans, all bolts shall be A325-X and installed snug tight. All the connections using A325 or A490 bolts shall comply with RCSC "Specification for Structural Joints Using ASTM A325 or A490 Bolts".
- All the structural steel shall have one coat of anti-rust paint and one coat of finish paint. The finish paint color shall be determined by the Owner. Prior to painting, all steel surfaces shall be prepared in accordance with Steel Structure Painting Council's "Surface Preparation Specification No. 3" (SSPC-SP 3). All paints are subject to the approval by the Owner prior to their use.
- No openings in any structural members other than what is specified on the plans are allowed unless approved in writing by the Engineer.
- No gas-cutting of structural steel is allowed.
- No field modification of any structural steel members is allowed unless approved in writing by the Engineer.
- The Contractor shall employ an independent inspection agency to inspect the structural steel work and verify that it complies with the requirements of the contract documents.
- Unless noted otherwise on plans, all columns shall have 5/8" thick cap plates.

Anchor Bolts:

- Anchor bolts shall be as specified on the plan. Substitutes are subject to the Engineer's approval, and allowed only if the request is submitted with product data in advance.
- All anchor bolts shall be installed strictly according to the manufacturer's recommendations.

General Notes (cont'd):

- If the Contractor finds a difference between these drawings and the existing conditions, or finds any other conditions that prohibit execution of the work as specified in these drawings, the Contractor shall notify the Engineer immediately and await for further directions on the affected works.
- The Contractor shall employ at the Contractor's expense an independent agency to perform the quality assurance, sampling, testing and/or inspection. The selection of the agency is subject to the Engineer's approval.
- The foundation design is based on an allowable soil bearing pressure of 1500 PSF. The Contractor shall employ at the Contractor's expense a Geotechnical Engineer licensed in the state of South Carolina to verify the foundation excavation before the placement of foundation concrete.
- The Contractor shall be solely responsible for all the costs associated with correcting any unapproved field alterations, unapproved fabrication deviations, items that the Contractor is responsible for, and/or the Contractor's failure to follow the contract documents and these directions.

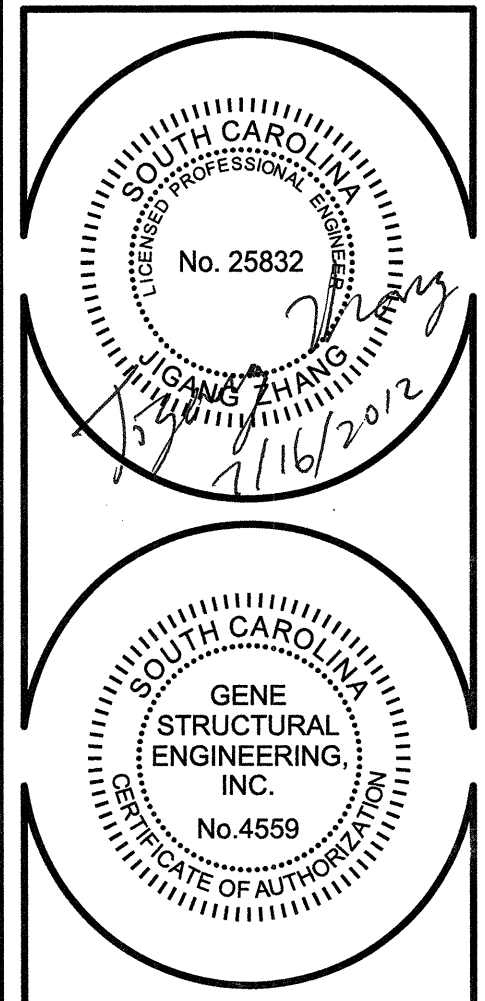
Concrete:

- The concrete's minimum compressive strength shall be 3,000 PSI at 28 days.
- All the rebar shall be A615 grade 60 steel.
- Concrete work shall comply with ACI 301-05 "Specifications for Structural Concrete" and the applicable provisions of ACI 318-05 "Building Code Requirements for Structural Concrete".
- The detailing, fabricating, and placing of reinforcing steel and accessories shall comply with ACI 315-99 "Details and Detailing of Concrete Reinforcement", ACI 318-05 and ACI 301-05, and shall conform with CRSI Manual of Standard Practice current edition.
- The Contractor shall employ a testing laboratory at the Contractor's expense to perform concrete strength testing per ACI 318-05. The selection of the testing laboratory is subject to the Engineer's approval.

Anchor Bolts:

- Anchor bolts shall be as specified on the plan. Substitutes are subject to the Engineer's approval, and allowed only if the request is submitted with product data in advance.
- All anchor bolts shall be installed strictly according to the manufacturer's recommendations.

REVISIONS			
NO.	DATE	TYPE	BY



THORNWELL 2ND FLOOR RENOVATIONS
 PROJ NO.: CP00343152/FM00392260
 UNIVERSITY OF SOUTH CAROLINA COLUMBIA, SOUTH CAROLINA
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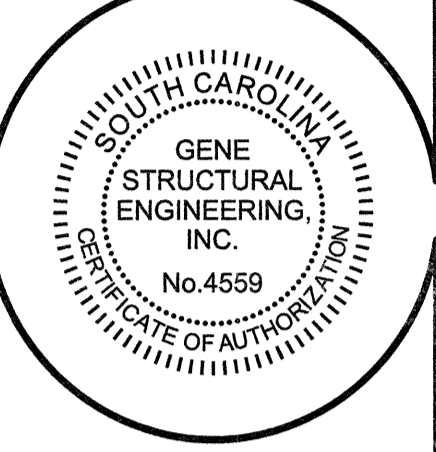
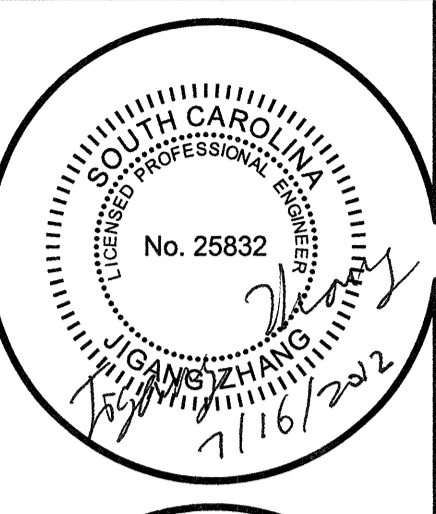
PAGE NAME
Plans & Notes

DESIGNED BY: GZ
 DRAWN BY: GZ
 CHECKED BY: GZ
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 JOB NO.: 120001



S-1

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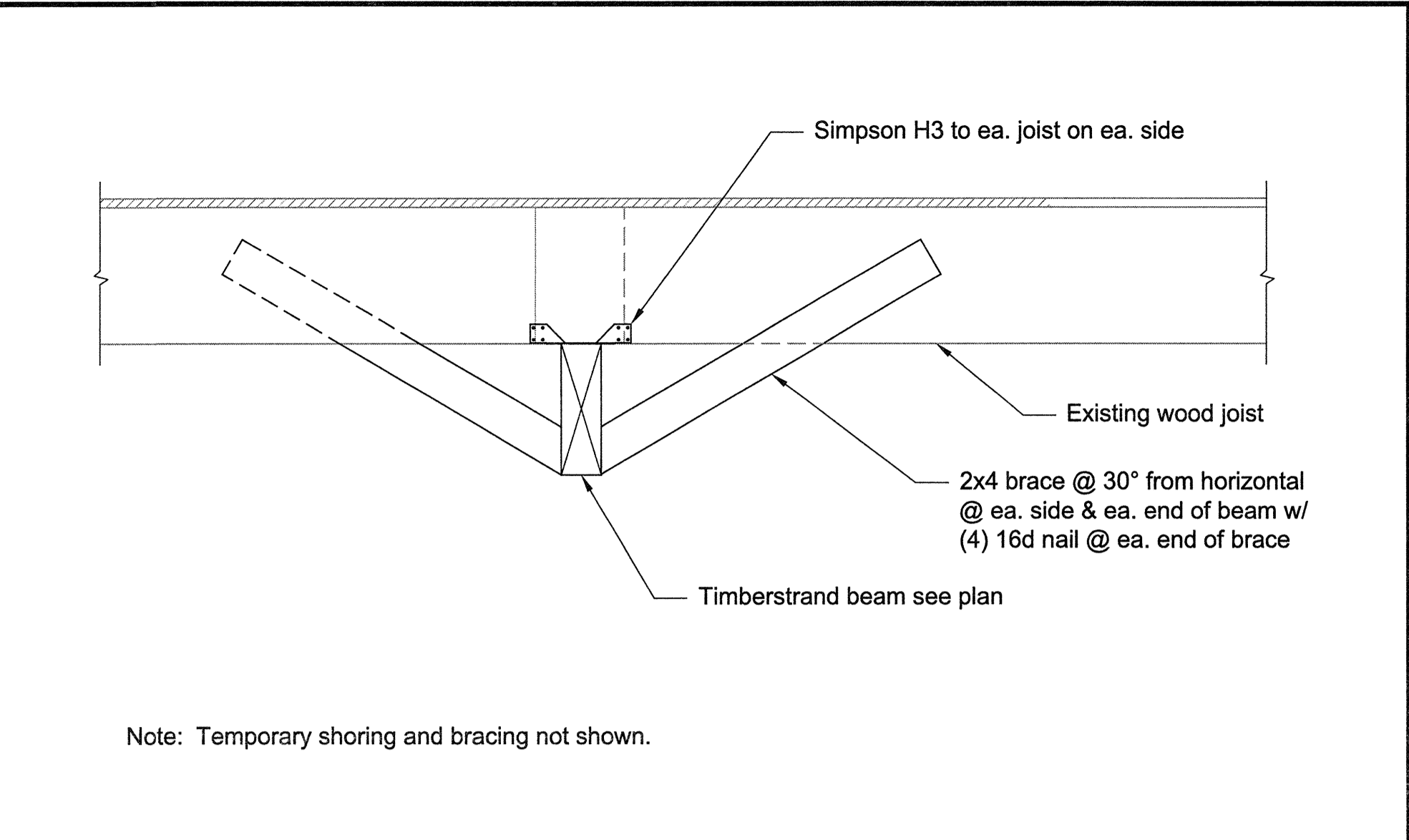
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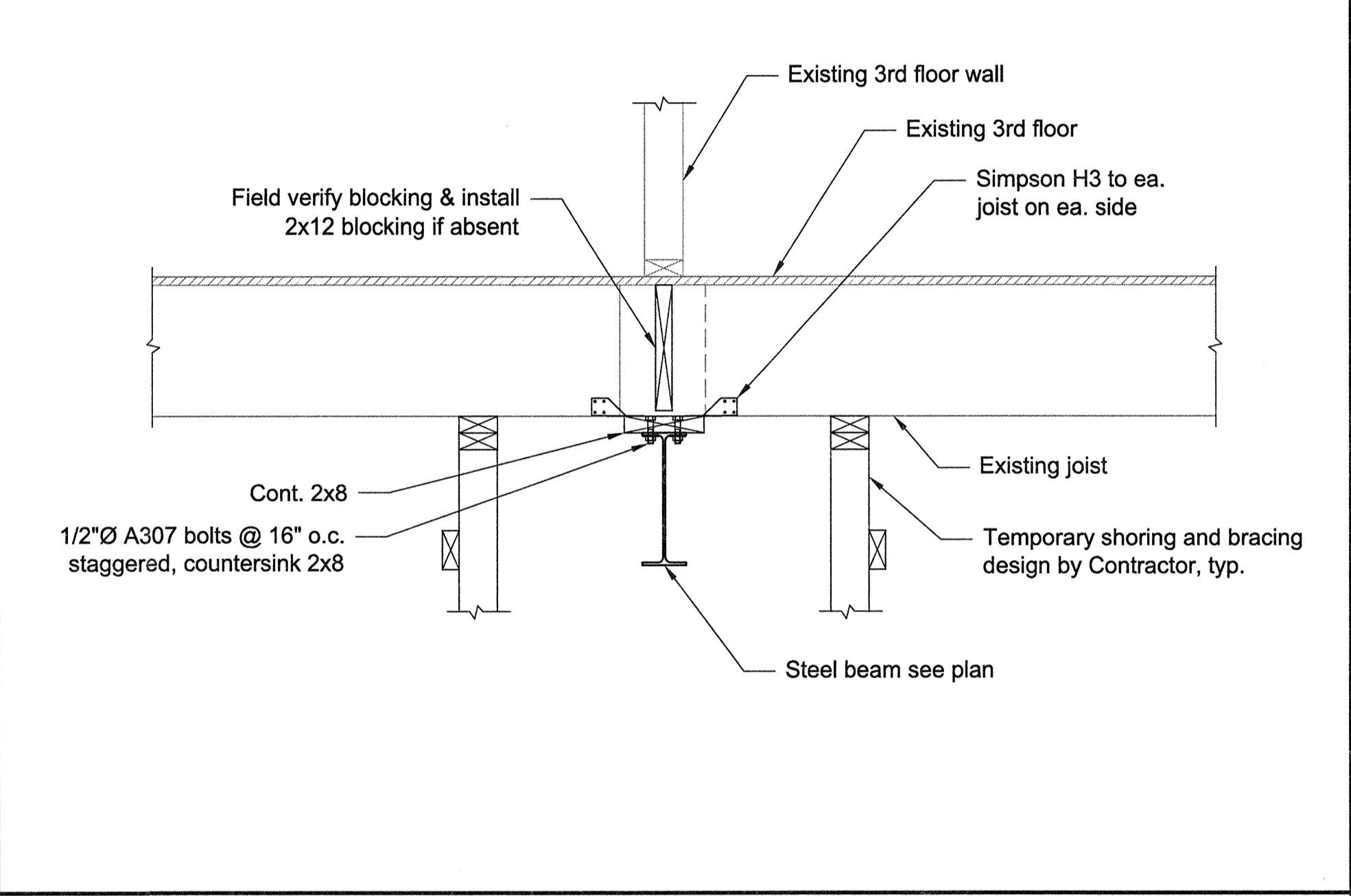
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 DATE: 07/18/2012
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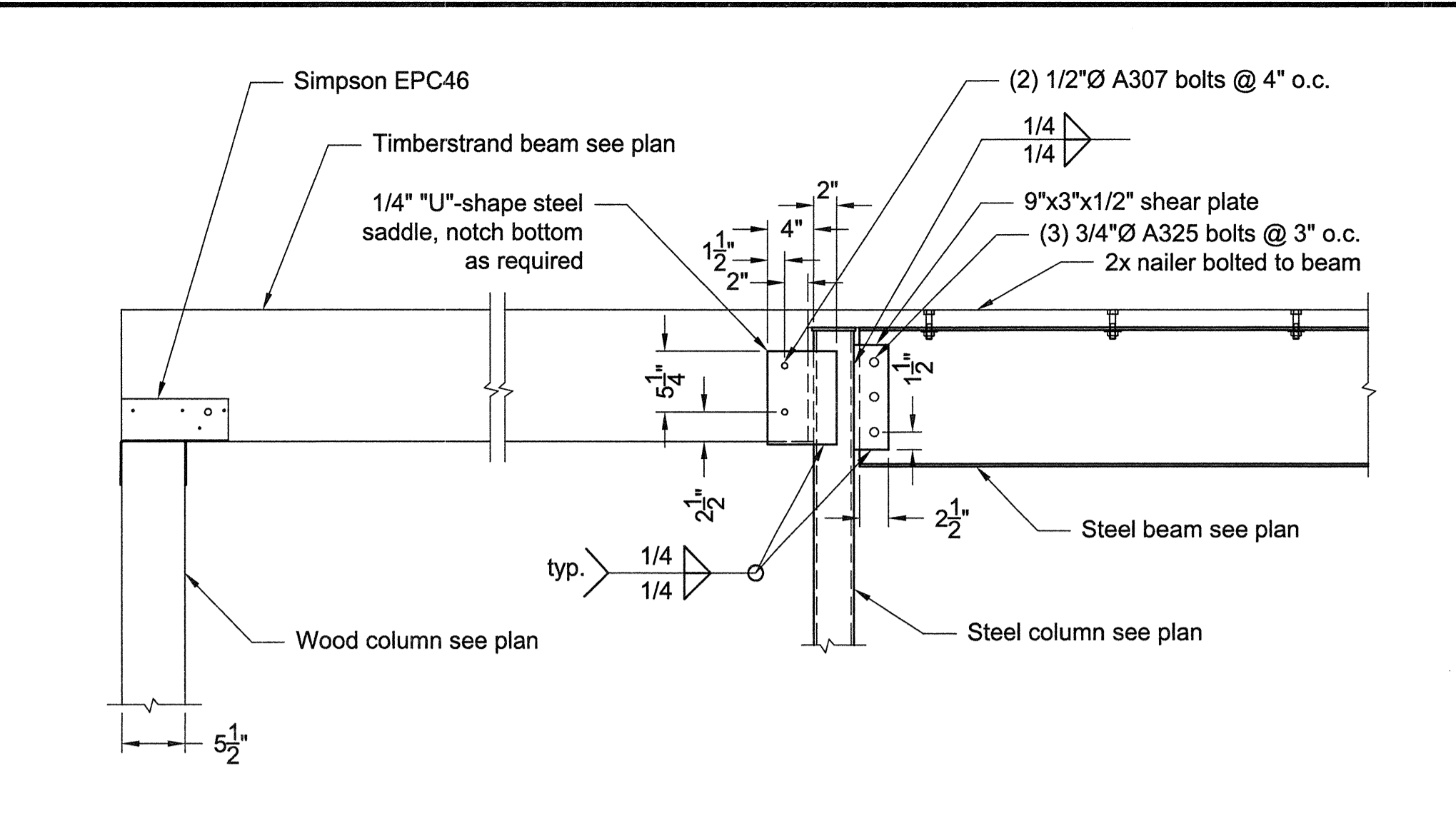
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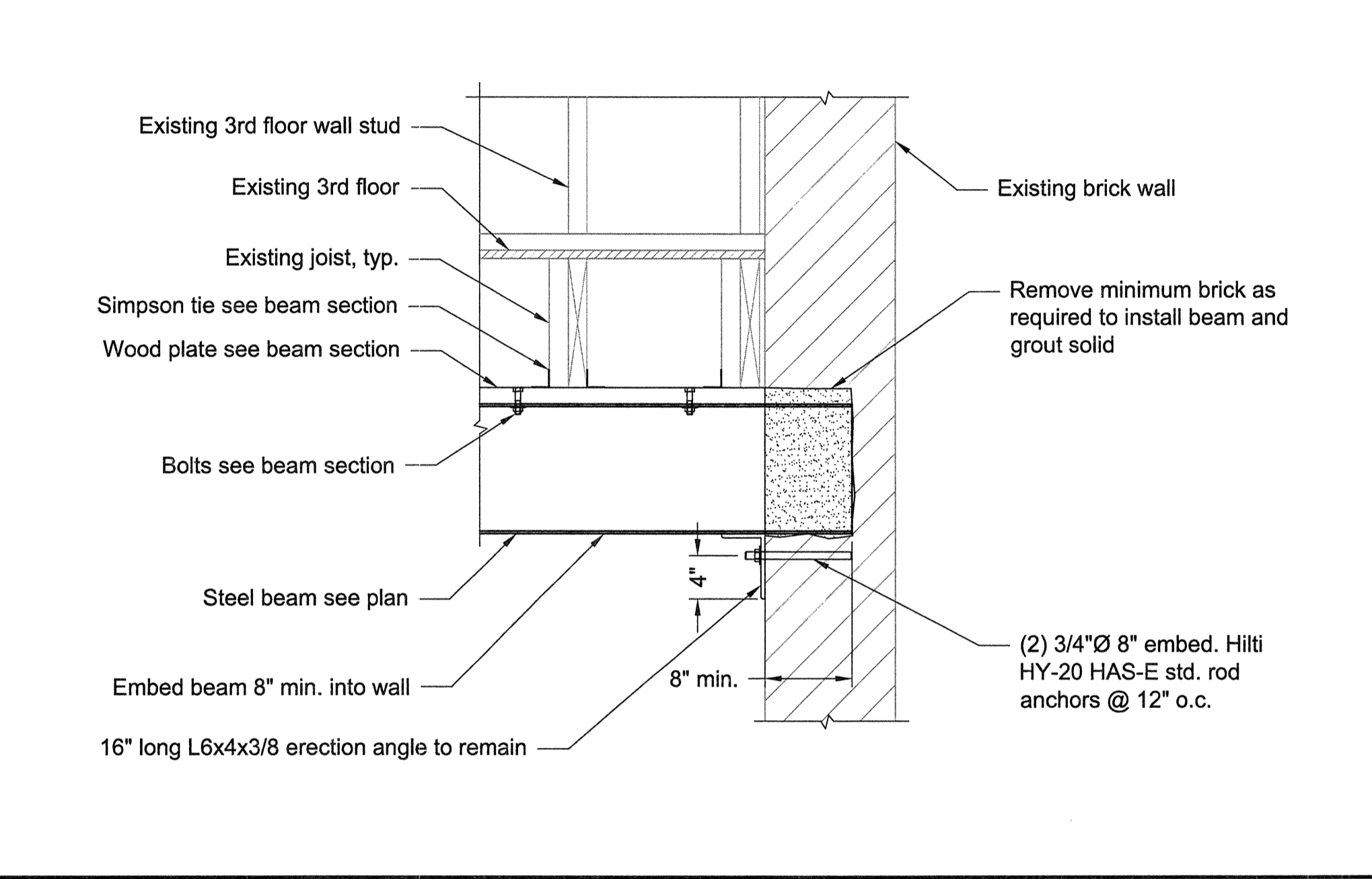
3. Typical Section @ Timberstrand Beam Scale: 1" = 1'



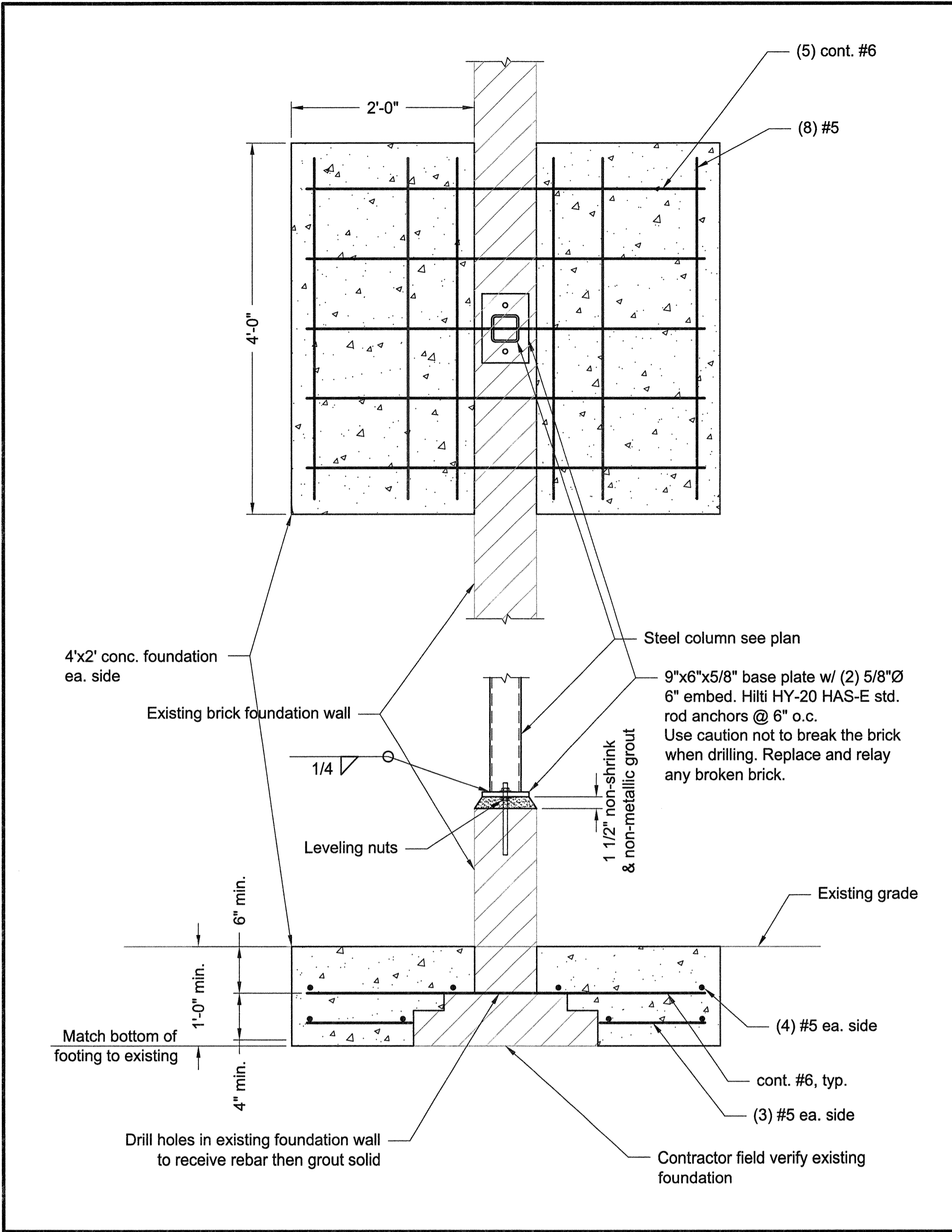
5. Typical Section @ Steel Beam Scale: 1" = 1'



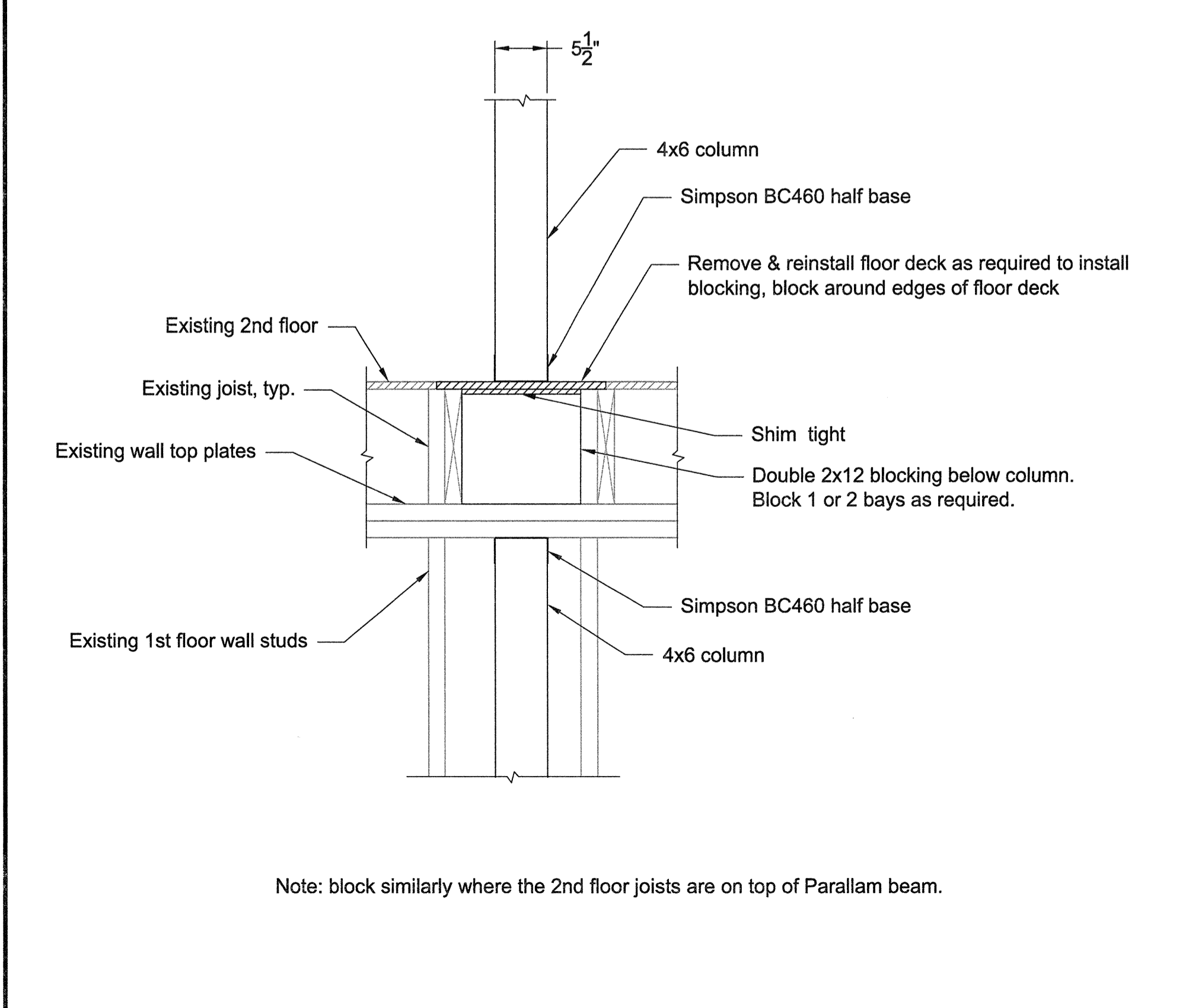
2. Typical Beam Support on Columns Scale: 1" = 1'



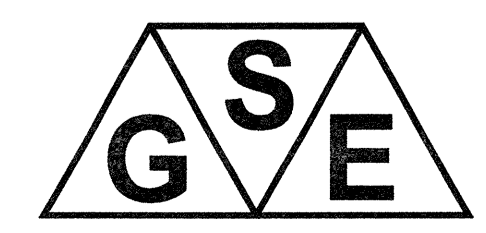
4. Typical Beam Support in Brick Wall Scale: 1" = 1'

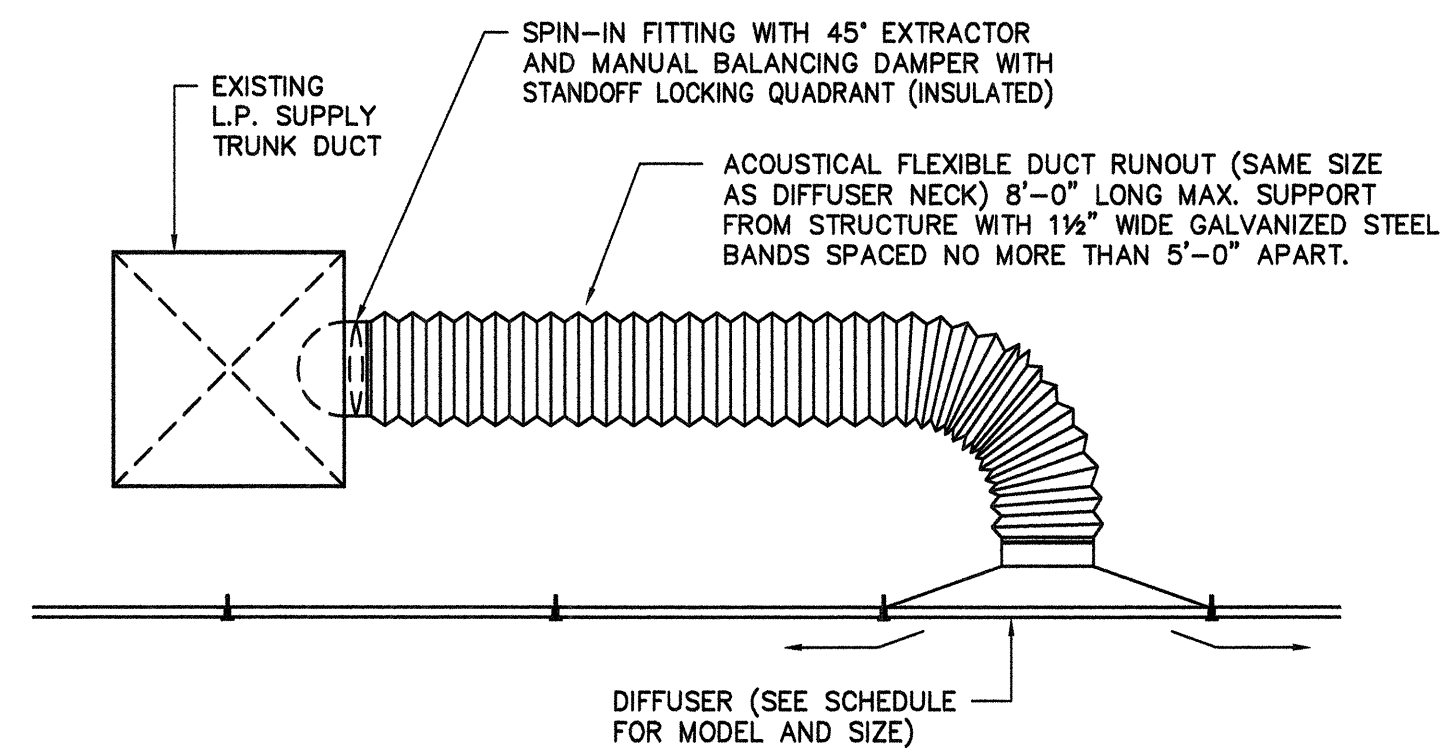


1. Foundation Detail Plan & Section Scale: 1" = 1'



6. Wood Column Support @ Second Floor Scale: 1" = 1'





CEILING DIFFUSER DETAIL

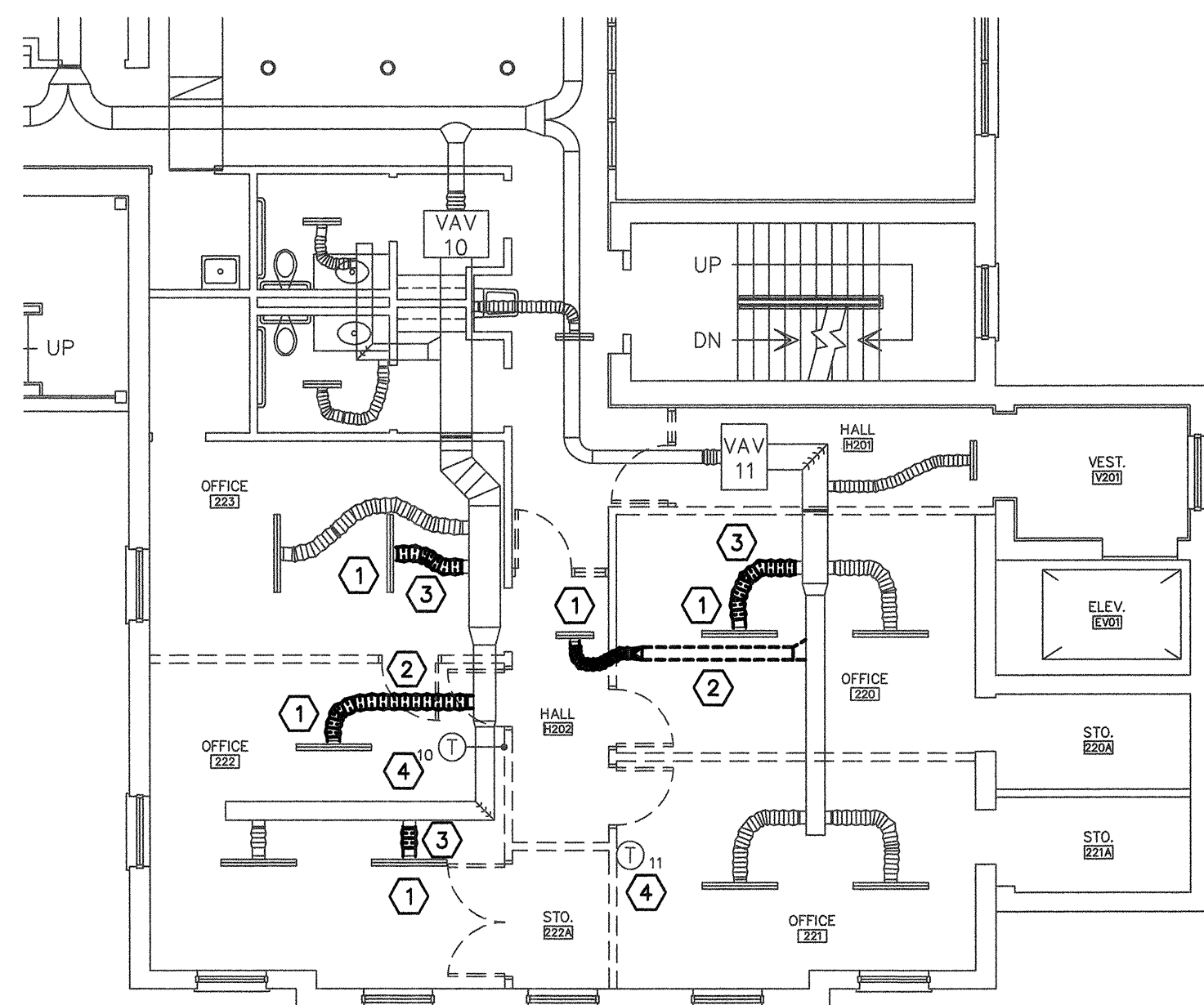
NO SCALE

AIR DISTRIBUTION SCHEDULE									
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX NC	REMARKS
Ⓐ	PERFORATED SUPPLY	PRICE	APDC	LAY-IN	126-225	8"Ø	24"x24"	30	1,2,3
1. PROVIDE WITH STANDARD WHITE FINISH. 2. PROVIDE ALUMINUM CONSTRUCTION. 3. PROVIDE WITH INDIVIDUALLY ADJUSTABLE CURVED BLADES.									

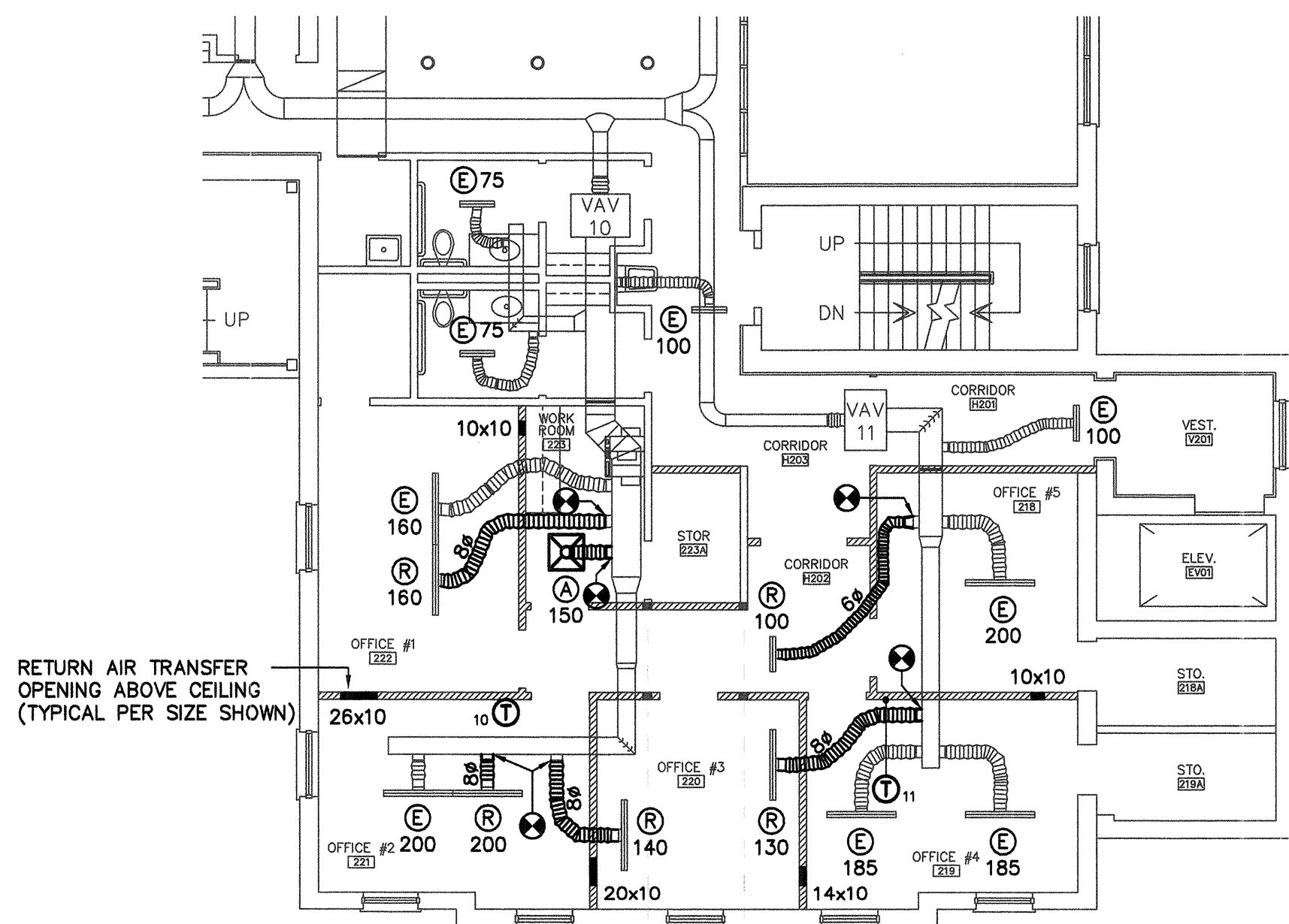
- GENERAL NOTES**
- VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
 - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF DOORS, WINDOWS, AIR DISTRIBUTION, ETC. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
 - SPACE ABOVE CEILING TO BE USED AS RETURN AIR PLENUM. RETURN AIR ENTERS PLENUM THROUGH RETURN AIR LIGHT FIXTURES.
 - THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTROL WIRING, CONTROL WIRING SHALL BE CONCEALED WITHIN WALL. ALL MODIFICATIONS TO THE CONTROL SYSTEM SHALL BE PERFORMED BY JOHNSON CONTROLS, INC. CONTACT GILL HOLLAND AT (803) 749-7336.
 - LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR TO OPERABLE PORTION OF DEVICE.
 - ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
 - THE HVAC SYSTEMS SHALL NOT BE OPERATED DURING HEAVY CONSTRUCTION OPERATIONS INCLUDING MASONRY, GYPSUM BOARD SANDING, HEAVY CLEANUP ACTIVITIES, OR OTHER ACTIVITIES THAT CREATE AIRBORNE PARTICLES OR DEBRIS.

LEGEND	
SYMBOL	DESCRIPTION
Ⓐ100	TYPE "A" DIFFUSER, 100 CFM
Ⓔ100	EXISTING DIFFUSER, 100 CFM
Ⓡ100	RELOCATED DIFFUSER, 100 CFM
Ⓣ	THERMOSTAT
Ⓢ	CONNECTION POINT OF NEW TO EXISTING

- DEMOLITION NOTES**
- DIFFUSER TO BE RELOCATED. SEE 2/M-1.
 - REMOVE RUNOUT DUCT AND CAP TAKEOFF AT MAIN TRUNK. PATCH INSULATION TO MATCH EXISTING.
 - REMOVE FLEXIBLE DUCT RUNOUT.
 - WALL THERMOSTAT TO BE RELOCATED. SEE 2/M-1.

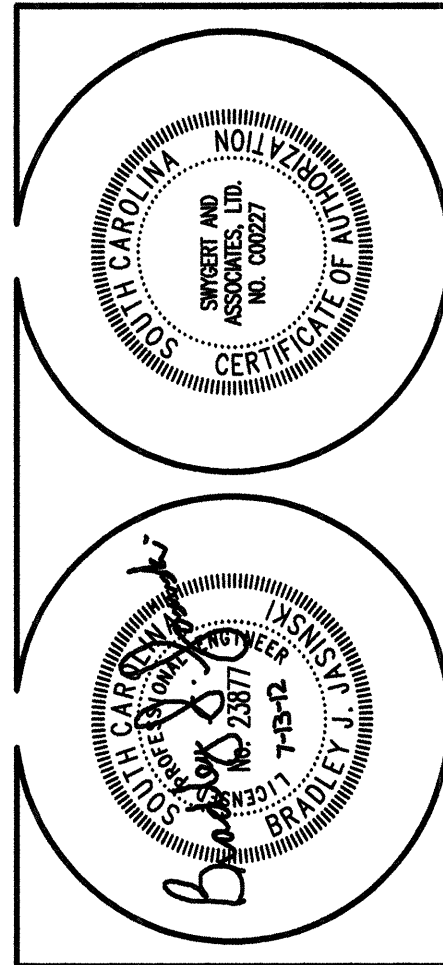


1 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 RENOVATION FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS			
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THORNWELL 2ND FLOOR RENOVATIONS
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JOHN BOWMAN ARCHITECT, P.A., INC.
 2422 Devine Street
 Suite C
 Columbia, SC 29205
 Phone: (803) 799-1084
 Fax: (803) 252-2786
 architect@bellcohn.net

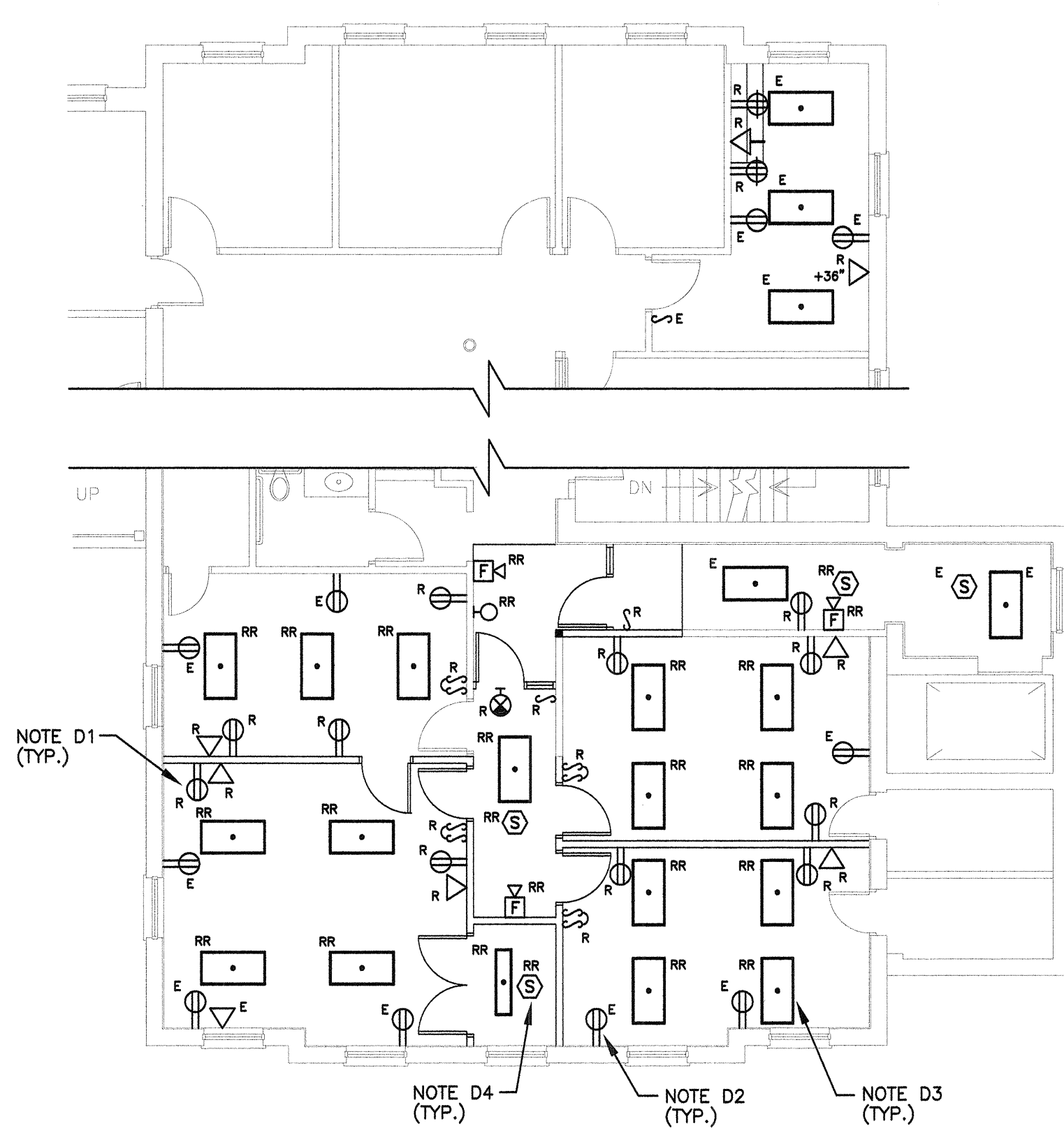
PAGE NAME
FLOOR PLANS, DETAIL, NOTES, SCHEDULE, AND LEGEND

DESIGNED BY: BJJ
 DRAWN BY: BJJ
 CHECKED BY: BJJ
 DATE: 07/18/2012
 SCALE: AS NOTED
 JOB NO.: 12260

Swygert & Associates
 CONSULTING ENGINEERS

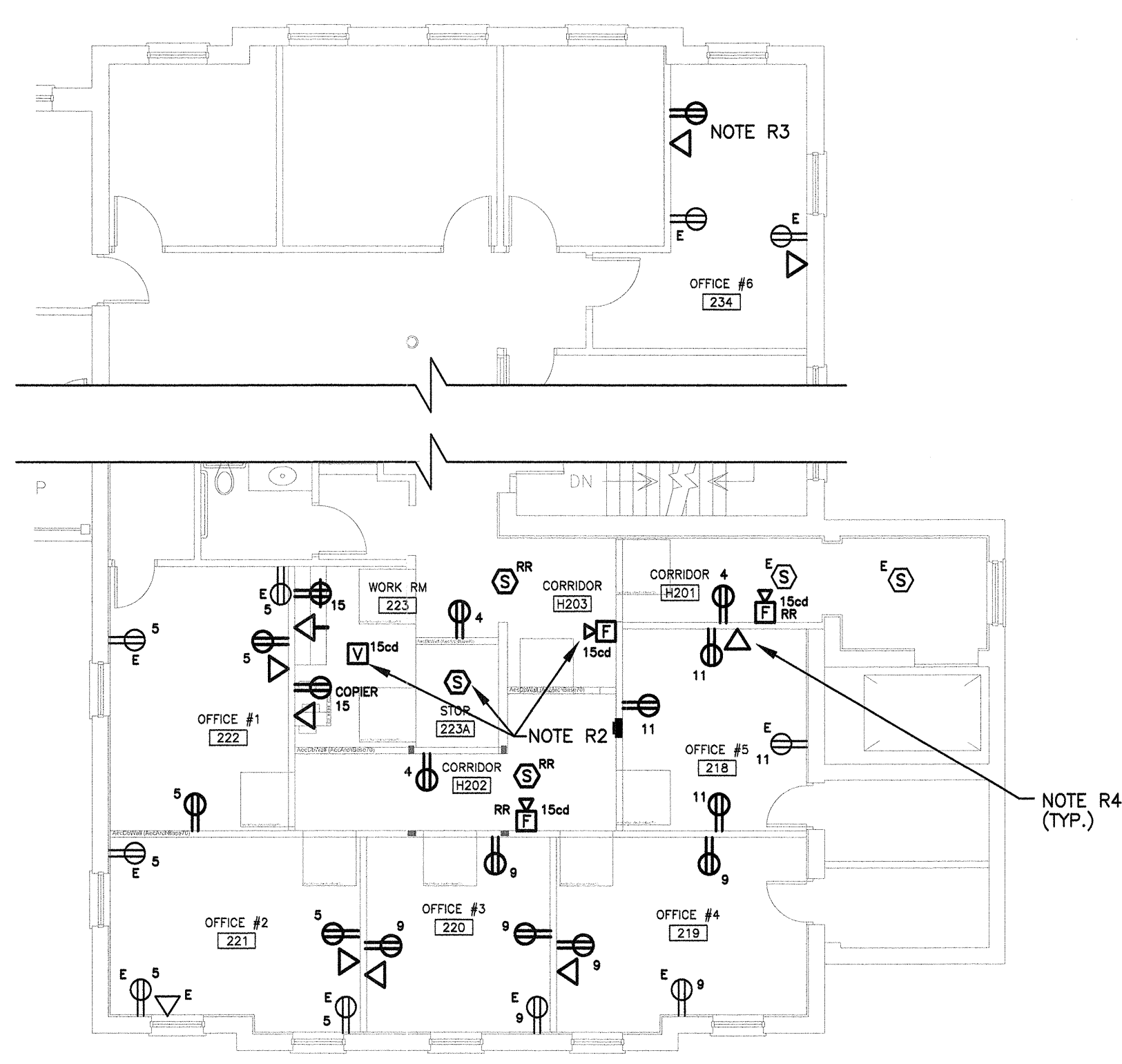
DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
 Post Office Box 11886 Fax: (803) 791-0800
 Columbia, S.C. 29211 mail@swygert-associates.com

M-1 OF 1



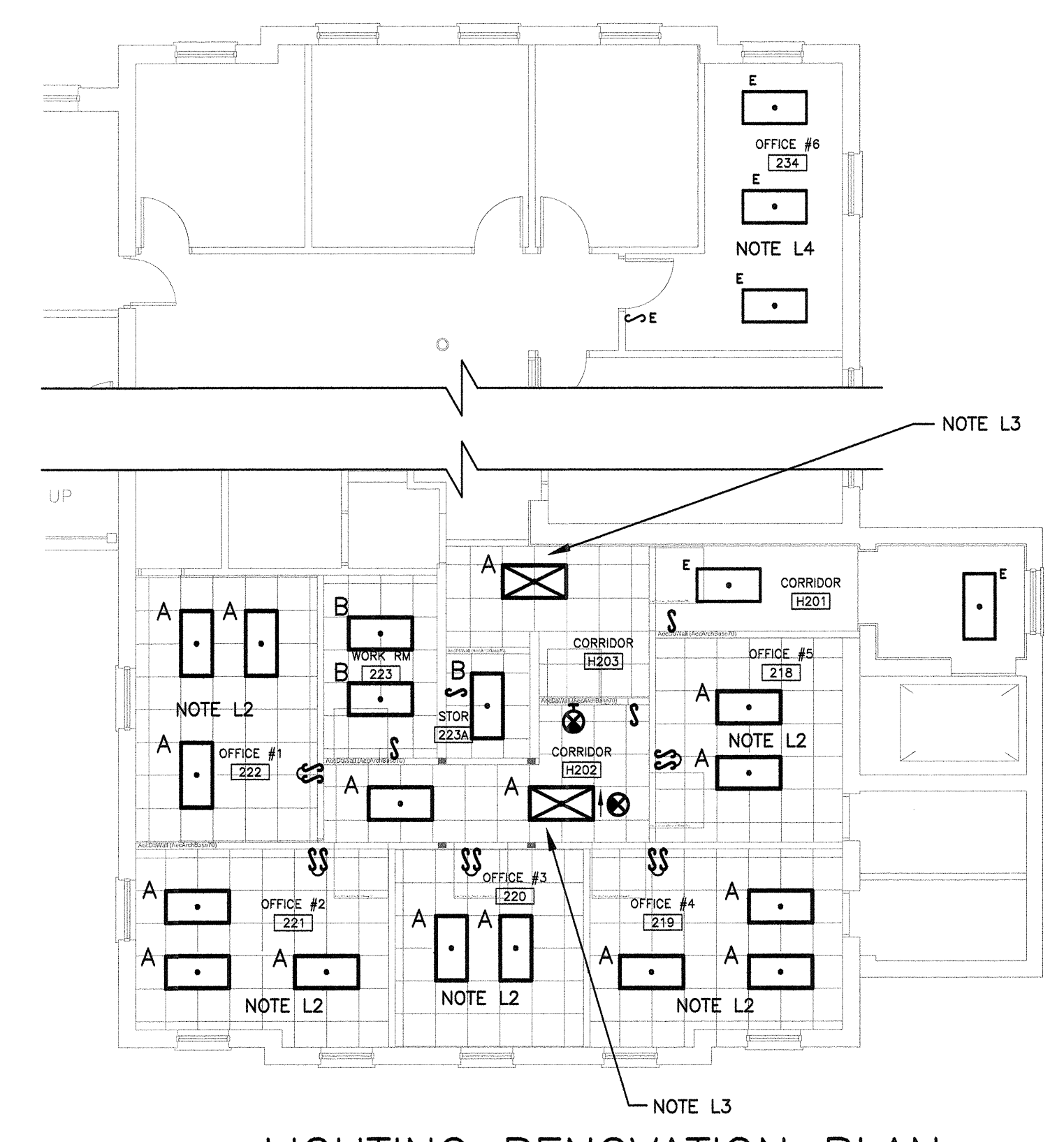
1 ELECTRICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

- ELECTRICAL DEMOLITION NOTES**
- ALL DEVICES AND FIXTURES DENOTED WITH "R" SHALL BE REMOVED BY THE ELECTRICAL CONTRACTOR DURING DEMOLITION.
 - ALL DEVICES AND FIXTURES DENOTED WITH "E" SHALL REMAIN IN PLACE. ANY DEVICE OR FIXTURE DAMAGED SHALL BE REPLACED BY ELECTRICAL CONTRACTOR.
 - ALL DEVICES AND FIXTURES DENOTED WITH "RR" SHALL BE REMOVED DURING DEMOLITION PHASE AND RE-INSTALLED DURING RENOVATION PHASE. PROTECT WHEN REMOVING AND STORING DURING DEMOLITION PHASE. ANY DEVICE OR FIXTURE DAMAGED SHALL BE REPLACED BY ELECTRICAL CONTRACTOR.
 - REMOVE EXISTING SMOKE DETECTORS FROM CEILING AND BAG DURING DEMOLITION. CLEAN AND RE-INSTALL DETECTORS IN NEW CEILING IN SLIGHTLY DIFFERENT LOCATIONS.



2 POWER & SYSTEMS RENOVATION PLAN
SCALE: 1/8" = 1'-0"

- ELECTRICAL POWER RENOVATION NOTES**
- ALL RECEPTACLES SHALL BE FED FROM EXISTING PANEL "2P1" (SEE KEY PLAN FOR LOCATION). CIRCUIT NUMBERS SHOWN ARE DIAGRAMMATIC ONLY. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL CIRCUIT AVAILABILITY. ELECTRICAL CONTRACTOR SHALL PROVIDE NEW TYPED PANEL DIRECTORY.
 - PROVIDE NEW FIRE ALARM DEVICES AS INDICATED ON PLAN. EXTEND EXISTING FIRE ALARM CIRCUITS TO THESE NEW DEVICES. PROVIDE ADDITIONAL POWER SUPPLY AND PROGRAMMING IN EXISTING FIRE ALARM PANEL AS REQUIRED EXISTING FIRE PANEL IS A SIMPLEX 4020 LOCATED IN EXISTING 2ND FLOOR ELECTRICAL ROOM (SEE KEY PLAN FOR LOCATION).
 - EXTEND EXISTING RECEPTACLE CIRCUIT IN THIS ROOM TO NEW RECEPTACLE.
 - PROVIDE NEW VOICE/DATA STATIONS AS INDICATED ON PLAN. PROVIDE DATA CABLES FROM VOICE/DATA STATIONS TO EXISTING TELCOM BOARD LOCATED IN EXISTING 2ND FLOOR ELECTRICAL ROOM (SEE KEY PLAN FOR LOCATION).



3 LIGHTING RENOVATION PLAN
SCALE: 1/8" = 1'-0"

- ELECTRICAL LIGHTING RENOVATION NOTES**
- ALL LIGHTING SHALL BE FED FROM EXISTING PANEL "2L1-ALT" (SEE KEY PLAN FOR LOCATION). RE-USE EXISTING LIGHTING CIRCUITS. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CIRCUITS AND SHALL PROVIDE NEW TYPED PANEL DIRECTORY.
 - ONE SWITCH SHALL CONTROL ALL INBOARD LAMPS IN FIXTURES IN THIS ROOM AND OTHER SWITCH SHALL CONTROL ALL OUTBOARD LAMPS IN FIXTURES IN THIS ROOM.
 - PROVIDE BATTERY BACKUP IN THIS FIXTURE (LITHONIA #PS1400QD OR APPROVED EQUAL)
 - ELECTRICAL CONTRACTOR SHALL CLEAN AND RELAMP EXISTING 2'x4' TROFFERS IN THIS ROOM.

ELECTRICAL SYMBOL LEGEND

[Symbol]	LIGHTING FIXTURES (SEE LIGHTING FIXTURE SCHEDULE)
[Symbol]	LIGHTING FIXTURES WITH EMERGENCY BATTERY BACKUP POWER (SEE NOTE L3)
[Symbol]	EXIT SIGN, CEILING OR WALL MOUNTED (DIRECTIONAL ARROW INDICATES CHEVRON)
[Symbol]	SINGLE POLE SWITCH, MOUNTED 48" AFF (LETTER DENOTES SWITCH/LEG)
[Symbol]	MULTI-LEVEL SWITCHING CONFIGURATION, MOUNTED 48" AFF (ONE SWITCH CONTROLS ALL INBOARD LAMPS; OTHER SWITCH CONTROLS ALL OUTBOARD LAMPS)
[Symbol]	20 AMP DUPLEX RECEPTACLE, MOUNTED 18" AFF (NUMBER DENOTES CIRCUIT)
[Symbol]	20 AMP DUPLEX RECEPTACLE, MOUNTED 42" AFF OR 6" ABOVE COUNTER BACKSPLASH
[Symbol]	VOICE/DATA STATION, WALL MOUNTED 18" AFF UNLESS NOTED OTHERWISE. PROVIDE 4" SQUARE BOX WITH SINGLE GANG PLASTER RING. PROVIDE 1" CONDUIT TO TELCOM ROOM. PROVIDE EDGE PROTECTION. SEE USC DOCUMENT "GENERAL GUIDELINES COMMUNICATIONS INFRASTRUCTURE UNIVERSITY OF SOUTH CAROLINA REVISED 5/12". PROVIDE CABLING, JACKS, CONNECTIONS, FACEPLATES, LABELING AND TESTING.
[Symbol]	VOICE/DATA STATION, WALL MOUNTED ABOVE COUNTER TOP UNLESS NOTED OTHERWISE. PROVIDE 4" SQUARE BOX WITH SINGLE GANG PLASTER RING. PROVIDE 1" CONDUIT TO TELCOM ROOM. PROVIDE EDGE PROTECTION. SEE USC DOCUMENT "GENERAL GUIDELINES COMMUNICATIONS INFRASTRUCTURE UNIVERSITY OF SOUTH CAROLINA REVISED 5/12". PROVIDE CABLING, JACKS, CONNECTIONS, FACEPLATES, LABELING AND TESTING.
[Symbol]	SPOT TYPE SMOKE DETECTOR, CEILING MOUNTED
[Symbol]	COMBINATION FIRE ALARM AUDIO/VISUAL INDICATING DEVICE. SEMI-FLUSH MOUNT UNIT 80" AFF IN WALL. NUMBER INDICATES CANDELA RATING.
[Symbol]	FIRE ALARM VISUAL-ONLY INDICATING DEVICE. SEMI-FLUSH MOUNT UNIT IN CEILING TILE. NUMBER INDICATES CANDELA RATING.

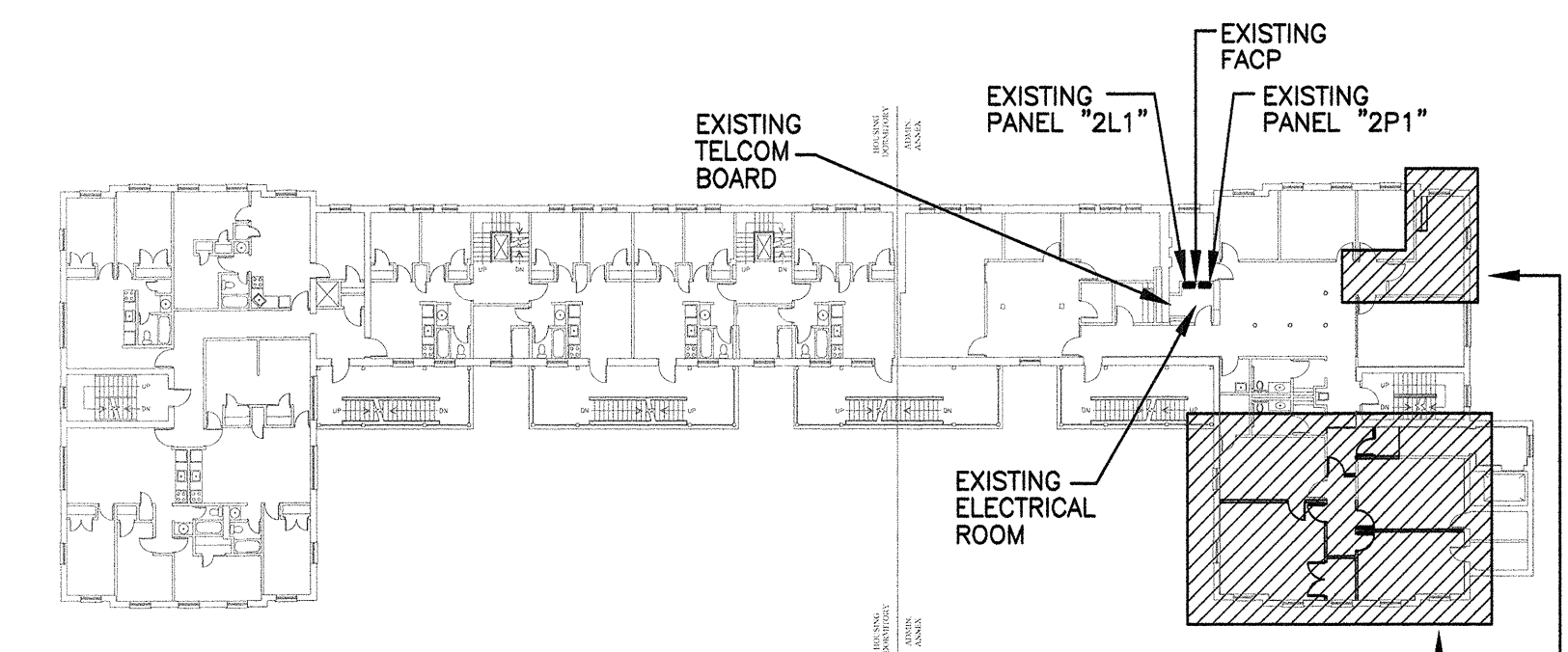
MOUNTING HEIGHTS INDICATED IN THIS LEGEND SHALL BE TO CENTERLINE OF DEVICE BOX. ALL SWITCHES AND PULL STATIONS SHALL BE INSTALLED TO BE ADA-COMPLIANT (NOT GREATER THAN 48" AFF TO TOGGLE/LEVER).

- ELECTRICAL GENERAL NOTES**
- ELECTRICAL LAYOUT DRAWINGS ARE DIAGRAMMATIC. COORDINATE ALL WORK WITH ARCHITECTURAL, AND MECHANICAL.
 - INSTALL THE ELECTRICAL SYSTEM WITHOUT INTERFERING WITH DUCTS, PIPES, STRUCTURAL STEEL, OR OTHER SYSTEMS.
 - LOCATE LIGHTING FIXTURES SYMMETRICALLY IN THE PROPER RELATION TO FINISHED AREAS.
 - PROVIDE ADDITIONAL SUPPORTS WHEREVER THE BUILDING STRUCTURE IS NOT SUITABLE FOR DIRECT MOUNTING. PROVIDE TWO #12 STEEL SLACK CABLES TO STRUCTURE FROM EACH FIXTURE MOUNTED IN A GRID CEILING.
 - EMT FITTINGS SHALL BE OF THE COMPRESSION TYPE. SET-SCREW OR INDENTOR TYPE FITTINGS SHALL NOT BE USED.
 - PROVIDE FIRESTOPPING AROUND RACEWAYS PENETRATING RATED WALLS.
 - THIS SCOPE OF WORK SHALL COMPLY WITH NEC-2008.
 - ALL COMPONENTS SHALL BE LISTED AND LABELED, UL OR EQUAL THIRD PARTY INSPECTED.
 - SPOT TYPE SMOKE DETECTORS SHALL BE AT LEAST 36" FROM ANY HVAC DIFFUSER.
 - OUTLETS WHICH OCCUR ON OPPOSITE SIDES OF A COMMON WALL SHALL BE OFFSET A MINIMUM OF 6 INCHES.

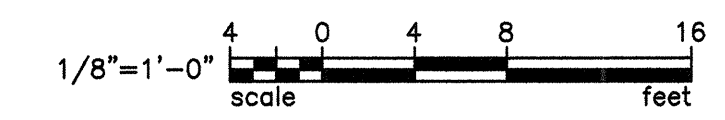
LIGHTING FIXTURE SCHEDULE

SYMBOL	TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	OPTICAL ELEMENT	MOUNTING	VOLTS	LAMPS (PHILIPS)
[Symbol]	A	RE-INSTALL EXISTING 2'x4' FLUORESCENT TROFFER. CLEAN AND RELAMP.						3 - F32T8/TL741/ALTO
[Symbol]	B	NEW 2'x4' FLUORESCENT AIR-HANDLING TROFFER FIXTURE	LITHONIA	ZSPGA 332 A12125 MVOLT	.125 ACRYLIC LENS	GRID	277	3 - F32T8/TL741/ALTO
[Symbol]	X	WALL MOUNTED EXIT SIGN SINGLE FACE, WITH NiCd BATTERY	LITHONIA	LE S 1 R 120/277 EL N	NONE	MOUNTED AS SHOWN	277	LED - INCLUDED

NOTE: LAMP DESCRIPTIONS ARE PHILIPS CATALOG NUMBERS (UNLESS NOTED OTHERWISE) OR APPROVED EQUAL.



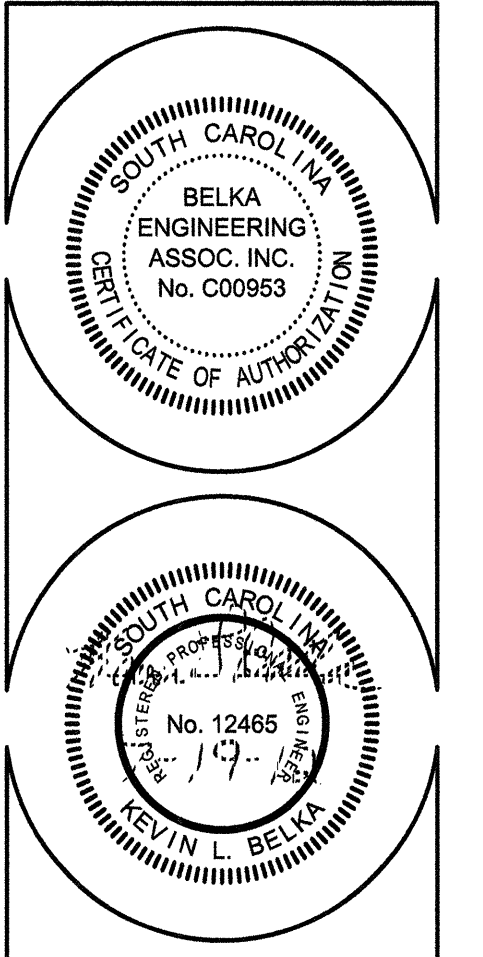
KEY PLAN
NOT TO SCALE



BEA BELKA ENGINEERING ASSOCIATES, INC.
7 CLUSTERS COURT, SUITE 201
COLUMBIA, SOUTH CAROLINA 29210
(803) 731-0650 fax (803) 731-2880
EMAIL: KBelka@bellsouth.net

REVISIONS

NO.	DATE	TYPE	BY



THORNWELL 2ND FLOOR RENOVATIONS
PROJ NO.: CP00343152/FM00092260
UNIVERSITY OF SOUTH CAROLINA
COLUMBIA, SOUTH CAROLINA
FINAL CONSTRUCTION DOCUMENTS

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JOHN BOWMAN ARCHITECT, P.A., INC.
2422 Devine Street Suite C
Columbia, SC 29205
Phone: (803) 798-1984
Fax: (803) 565-2786
www.jbaarchitecture.com

PAGE NAME
ELECTRICAL DEMOLITION & RENOVATION PLANS

DESIGNED BY: KLB
DRAWN BY: ZES
CHECKED BY: KLB
DATE: 07/18/2012
SCALE: 1/8" = 1'-0"
JOB NO.: JB21201